

13 January 2022

Please Quote: 6221209
Doc No: RDC-1217748
Enquiries to: **Darren Clark**

BARKERS & ASSOCIATES LIMITED
PO BOX 1986
SHORTLAND STREET
AUCKLAND 1140

Attn: Alisa Neal

Dear Alisa,

NOTICE OF LAND USE CONSENT DECISION

Consent no:	RC17675
Applicant:	KAINGA ORA HOMES AND COMMUNITIES
Agent:	BARKER & ASSOCIATES LIMITED
Proposal and type of application and:	LAND USE CONSENT – DISCRETIONARY – RC17675 FOR A COMPREHENSIVE RESIDENTIAL DEVELOPMENT TO ESTABLISH 37 DWELLINGS AND A COMMUNITY FACILITY.
Site address:	93 & 113 RANOLF STREET
Legal description:	PART LOT 1 DPS 49090 & LOT 6 DP 29805
Property file no:	P03017, P03019

I wish to advise that the following decision has been made under authority delegated to staff in respect of the above application:

- (a) Pursuant to Section 95A of the Resource Management Act 1991, the Rotorua District Council has decided in its discretion not to publicly notify the application. Council is satisfied after due consideration of Section 95D that the adverse effects on the wider environment will be or are likely to be no more than minor. Council is also satisfied that no special circumstances exist that require notification of the consent application in accordance with Section 95A(4).
- (b) The Council has decided after taking into due consideration the requirements of Sections 95B and 95E of the Resource Management Act 1991 that the adverse effects of the activity on the owners and occupiers of adjacent land are less than minor and at the time of making this decision no persons are considered affected therefore limited notification is not required.
- (c) Pursuant to Section 37 and 37A of the Resource Management Act 1991, the Council advises that the 20 working day time limit for processing the application has been extended by 20 working days in relation to special circumstances, by way of the time taken through the COVID lockdown. The total 40 working day time limit was also further extended to allow agreement on draft conditions, as agreed to by the applicant.

- (d) Pursuant to Sections 34A, 37, 104, 104B and 108 of the Resource Management Act 1991, the Rotorua District Council resolves to GRANT land use consent for a comprehensive residential development for 37 household units and a community facility on the site comprised in Lot 1 DPS 49090 and Lot 6 DPS 28691 in the Residential 2 Zone, subject to the following conditions:

CONDITIONS OF CONSENT:

1. The proposal shall proceed in general accordance with the application submitted by Barker & Associates Ltd on behalf of KĀINGA ORA – HOMES AND COMMUNITIES numbered RC17675 and plans numbered RC17675/1-25 by Council except where modified by any conditions of this consent.

Community Facility

2. The proposed Community Facility activity shall be subject to the following operational restrictions:
 - The use of the building shall be administered by Kainga Ora;
 - If the property is on-sold, the use of the building shall revert back to a Household Unit;
 - Hours of operation shall be restricted to between 7am and 7pm, and noise levels shall not exceed 50dB LAeq;
 - The building shall be occupied by a maximum number of 30 people at any one time;
 - Sound amplification systems shall not be used within the building.

Landscaping

3. That the landscape, planting and fencing shall be carried out in accordance with the Greenwood Associates landscape plans labelled RC17675/26-36 by Council and shall be implemented for each household unit within 3 months of being issued a Code Compliance Certificate for each household unit.
4. That all landscaping throughout the site shall continue to be maintained by the consent holder, in accordance with the approved landscaping, planting and fencing plans, for the lifetime of the activity. Any diseased, poorly performing or dying plants shall be reinstated with suitably sized replacements. All plants shall be capable of reaching either the specified or mature height at the time of planting.
5. The Planting Implementation, Establishment and Maintenance Specification dated 18/10/2021 and prepared by Greenwood Associates shall be implemented for the lifetime of the activity

Financial Contribution

6. A financial contribution for reserves and heritage shall be paid to Council prior to occupation of the additional household units. This amount will be equivalent to 5% of the land value of a 350m² site, for 35 additional household units, as at the date of this decision, in accordance with Part 2 - District Wide Matters: Financial Contributions of the Operative District Plan.

[Advice Note: A registered valuation has not yet been received by Council. This will be forwarded to you as soon as it is received and the financial contribution figure will be confirmed.]

Construction Noise

7. Noise associated with the construction activity, including earthworks, shall comply with the limits recommended in, and shall be measured in accordance with, NZS6803:1999 – Acoustics – Construction Noise.
8. Construction works on site shall be restricted to the hours of:
 - 7am to 6pm – Monday to Friday
 - 7am to 12pm Saturday; and
 - No work shall be undertaken on Sundays and public holidays.

Engineering

9. That all engineering works required to be undertaken to satisfy the conditions of this consent shall be carried out in accordance with the requirements of the Waikato Local Authority Shared Service, Regional Infrastructure Technical Specifications (RITS), and any agreed OR conditioned departures to the satisfaction of the General Manager Infrastructure, Rotorua District Council (or their delegate).
10. That all engineering works required under this consent (including infrastructure/servicing, access, waste management and geotechnical conditions) shall be completed prior to occupation of the household units.

Waste Management Plan

11. The owner shall provide a Waste Management Plan (WMP) that details how waste collection will operate within the site and the requirements of site management, residents and the waste collection contractor (SMART Environmental). The WMP shall be submitted for Council's written certification to the satisfaction of the Deputy Chief Executive Infrastructure and Environmental Solutions, Rotorua District Council, or their delegate.

New Infrastructure

12. The new public water, wastewater, stormwater and jointly owned access lot (JOAL) infrastructure shall be designed and constructed in accordance with the Engineering Report titled 'Kainga Ora, 93-113 Ranolf Street, Glenholme, Rotorua' (Project 139028, 20/08/2021, revision B), and the letter (Ref: 139028, 21/10/2021) prepared by Maven Associates.
13. The wastewater, stormwater, telecommunication and electricity infrastructure shall be provided to the standards required by Council as a service operator or other service operators in which the infrastructure will be vested. Certification from Council or other appropriate service operator that it is satisfied with the standard of the service provided shall be provided to Council as consent authority.
14. That in carrying out the proposed works no run off, silt, sediment, dust or other materials shall be permitted to discharge off-site that could damage or disturb neighbouring properties, public roads, drains or waterways. This shall be achieved by installing and maintaining appropriate erosion, sediment and dust controls (in accordance with the Bay of Plenty Regional Council Sediment and Erosion Control Guidelines) prior to and during the works until the site is stabilised.

Three Waters

15. The overall proposed development shall be provided with a water supply from a single 100mm metered water connection equipped with an approved backflow prevention device installed to the boundary of the subject site.
16. That each proposed fee simple lot shall be provided with an individual connection to the wastewater and stormwater reticulation to vest in Council.
17. The existing wastewater mains that will be made redundant by the proposed development shall be excavated, removed and the resulting trench backfilled and compacted and certified.
18. That any redundant connections to the reticulated networks shall be disconnected by a Council approved contractor.

Access

19. The on-site parking area for each household unit shall be formed, drained, and surfaced with all-weather materials in accordance with the requirements of the District Plan and the RITS.
20. That any existing redundant vehicle crossings shall be removed and the kerb, channel, and berm reinstated.

Electricity, Telecommunication and Gas Services

21. That each household unit shall be provided with individual electricity and telecommunication services. All costs for provision of these services including any payable upgrading cost of the existing networks shall be met by the consent holder and written confirmation of the provision of these services shall be provided.

Geotechnical

22. That the earthworks and settlement monitoring shall be undertaken in accordance with the Geotechnical Supplemental Assessment – 94 Ranolf Street, Glenholme, Rotorua prepared by ENGEO Limited (Ref: 19022.000.000_01, 30/07/2021).
23. A review of the detailed design plans shall be carried out by a suitably qualified geoprofessional prior to the start of earthworks and written confirmation provided with the engineering plans approval. The completed works shall be certified as being carried out in accordance with NZS 4431.
24. That upon completion of the earthworks, the building sites shall be either certified as suitable to build on in accordance with NZS3604:2011 by a suitably qualified geoprofessional or recommendations shall be provided in a Geotechnical Completion Report detailing any specific requirements for the development of individual building sites. A Schedule 2A Statement of Professional Opinion on Suitability of Land for Building Consent shall be appended to the Geotechnical Completion Report.

Engineering Plan Approval

25. That engineering design plans and specifications shall be submitted to the Deputy Chief Executive Infrastructure and Environmental Solutions (or their delegate), for written approval prior to commencing work on-site. As-built drawings of the completed infrastructure shall be provided upon completion. The engineering design plans shall include:
 - i. Private jointly owned access lot (JOAL) and new crossings;
 - ii. Water, wastewater and stormwater infrastructure;
 - iii. Earthworks plans and specifications; and
 - iv. Sediment and erosion control plans.

Construction Management Plan

26. No less than 10 working days prior to works commencing on site, the Consent Holder shall submit to Council for approval to the satisfaction of the Deputy Chief Executive Infrastructure and Environmental Solutions, Rotorua District Council, or their delegate, a Construction Management Plan. No work may take place (apart from site establishment) until the Plan has been approved. The plan shall address the following matters:
 - i. Extent of the Site;
 - ii. Erosion and Sediment Controls;

- iii. **Approved Engineering Plans for the works;**
- iv. **Hours of Work;**
- v. **Location for access in and out of the site onto public roads, and details of measures to be taken to prevent the tracking of sediment or spilling of other materials onto the roads; and an**
- vi. **Approved Traffic Management Plan when heavy vehicle movements exceed 20 movements per day (in and out equals 2 movements).**

REASONS FOR COUNCIL DECISION:

1. **Main Findings of Fact: The applicant has applied for land use consent for a comprehensive residential development for 37 household units and a community facility on the site comprised in Lot 1 DPS 49090 and Lot 6 DPS 28691 in the Residential 2 Zone.**
2. **The site is zoned Residential 2 in the Rotorua District Plan where a comprehensive residential development land use consent is a Restricted Discretionary Activity under Rule RESZ-R3 and a community facility is a Discretionary Activity under Rule RESZ-R14. Rule EW-R1 for earthworks is also triggered. The overall activity status of the application is a Discretionary Activity.**
3. **The proposal will comply with the density requirements but will involve failures with performance standards of the District Plan, relating to building height, daylighting, yards, parking, access and earthworks.**
4. **The proposal has been assessed against the relevant District Plan assessment criteria referred to under Rule RESZ-R3 and RESZ-AC1. The potential adverse effects of the proposal on the environment will be minimal and anticipated by the District Plan.**
5. **No persons are considered to be affected by the proposal.**
6. **The application states that the site is free from natural hazards and free from any potential overland flow paths. Geotechnical investigations have been undertaken and specific foundation design is required at the time of building consent application.**
7. **A financial contribution is payable for the additional household units created as part of a land use consent in accordance with Part 2 of the District Plan. This is a contribution towards the development of existing, and purchase of additional, land to enhance the amenity and heritage value of reserves. A condition of consent has been imposed accordingly.**
8. **The development consists of 37 dwellings, a community room and balance land that will be provided with legal and physical access to Ranolf Street and Malfroy Road via two new entrances. The impact of the development and the location of the new entrances has been assessed by Traffic Planning Consultants (TPC) in the Transportation Assessment and concluded that the Roding network can accommodate the development. The development will be provided with 68 internal parking spaces.**

9. **The Engineering Report prepared by Maven Associates details the applicant's intention to construct the water, wastewater and stormwater infrastructure that will be vested to Council. Council has accepted the vesting of the wastewater and stormwater infrastructure however will not accept the vesting of a water main on private land, therefore a single water connection is required for the development. Council needs to access the infrastructure for maintenance. Council will only be responsible for reinstating the surface to a standard type finish i.e. grass/concrete/asphalt and the owner will be responsible for any additional reinstatement work to match the surrounding area.**
10. **The TPC Transportation Assessment has provided a design and access statement to support the private road design and concluded that it is adequate for the proposed development and the balance land.**
11. **As part of the previous Resource Consents (RC16358 and RC16359) for the site, the applicant paid a financial contribution to Council for stormwater upgrades so the reticulated network could accommodate the development. The works have been completed and a 750mm stormwater connection is available for the site. The effects of the increase in stormwater runoff from the site has been modelled and confirmed that the development can be accommodated in the stormwater network without an increase in flood risk to private property.**
12. **The geotechnical investigation report submitted by ENGEO Limited has demonstrated that the land is suitable for the proposed development providing the earthworks are monitored and certified and a geotechnical completion report is provided. The ENGEO Limited report builds on the previous Geotechnical Report from Tonkin and Taylor and further investigation has been completed that supports an expected reduction in settlement timeframe subject to settlement monitoring.**

ADVICE NOTES:

(a) Timeframe for Giving Effect to this Consent

The above consent lapses on the expiry of 5 years after the date of receiving this letter, unless the consent is given effect to.

(b) Right of Objection

If you are dissatisfied with any aspect of the decision, you have a right of objection to Council under section 357A of the Resource Management Act 1991. Please advise Council in writing stating the reasons for the objection and the preferred outcome within 15 working days of receiving this decision. If no objection is received it will be assumed that the applicant accepts this decision. In addition, there is a right of appeal to the Environment Court under section 120 of the Resource Management Act 1991.

(c) Obligations under the Heritage New Zealand Pouhere Taonga Act 2014

Council has no records of an archaeological site on this property. This may be due to one of two factors. Either, there are no sites present or there has not been an archaeological survey undertaken. Please be advised that both known and unknown archaeological sites are protected under the Heritage New Zealand Pouhere Taonga Act 2014. If during the exercising of this consent any archaeological site is uncovered work must stop and permission be obtained from Heritage New Zealand under section 44 of the Heritage New Zealand Pouhere Taonga Act 2014.

(d) Construction Noise

All construction noise is required to comply with NZS6803 1991.

(e) Other Consents

To avoid doubt; except as otherwise allowed by this resource consent, all land uses must comply all remaining standards and terms of the relevant Rotorua District Plan. The proposal must also comply with the Building Act 2004 and Bay of Plenty Regional Plans. All necessary consents and permits shall be obtained prior to development.

(f) Monitoring

Pursuant to Section 36 of the Resource Management Act 1991 the Consent Holder shall pay the actual and reasonable costs incurred by the Rotorua District Council when monitoring the conditions of this consent. Please contact Council's Community compliance team on RMAcompliance@rotorualc.nz at least 10 working days prior to works beginning under this consent to arrange a pre-start meeting and to notify Council of the start date of works under this consent.

(g) Works within the Road Reserve

Prior to any works being undertaken within the road reserve (including vehicle crossings) a Corridor Access Request must be lodged with Council and a Works Access Permit issued. This is available free of charge by going online to the website www.beforeudig.co.nz or by contacting Council's Corridor Access Administrator on 07 351 8085.

(a) Engineering Plan Approval

The engineering design plans and specifications shall be submitted to the Deputy Chief Executive Infrastructure and Environmental Solutions (or their delegate) via the email LandDevelopment@rotorualc.nz. Upon approval the applicant will be invoiced for the cost associated with the approval.

(b) Water Connection

The new water connection shall be from the existing 100mm capped line in the berm on Ranolf Street, Council will pay for the installation of a new fire hydrant in the berm. A new private firefighting hydrant shall also be installed within the development.

(c) Infrastructure to Vest

CCTV inspection and assessment of the new wastewater and stormwater infrastructure to vest shall be completed once the construction is completed in accordance with the RITS. The infrastructure will only be vested after being inspected/tested and found to comply with the RITS and asbuilt information is provided to Council.

(d) Relocated Wastewater Infrastructure

The applicant has proposed to relocate the existing wastewater infrastructure within the site to increase the buildable area within the new lots, as a result there will be an empty trench that will require backfilling, the backfill shall be tested and the results provided in the Geotechnical Completion Report.

(e) Works on Council's Services

Any works to be undertaken on Council's services must be by a Council approved contractor.

(f) Redundant Connections

There are multiple existing water and wastewater connections for the site that should be capped.

(g) Application for New Connections

Application for a new water, wastewater and stormwater connection applications will need to be made to Council with the payment of appropriate fees.

(h) Location of Water Connections

The consent holder is advised that the water connection (Toby Box) should not be installed within a vehicle crossing.

(i) Rainfall Intensity

The rainfall intensity used to determine the stormwater flows shall including climate change, an acceptable intensity is that derived from HIRDs V4, RCP 8.5 to 2100.

(j) Electricity and Telecommunication Services

Electricity and telecommunication services to any future buildings must be installed underground unless it is demonstrated to be impractical.

All land use activities, including the construction of new buildings/structures, earthworks, fences, any operation of mobile plant and/or persons working near exposed lines parts shall comply with the New Zealand Electrical Code of Practice for Electrical Safe Distances (NZECP34:2001) or any subsequent revision of the code.

(k) Earthwork Review

The detailed earthwork plans should be reviewed by the geoprofessional prior to construction to ensure the recommendations presented in the Geotechnical Reports are followed.

(l) Upload to the New Zealand Geotechnical Database

You can assist Rotorua Lakes Council (RLC) to define the ground conditions within the Rotorua District by giving the geotechnical engineer your permission to upload any site specific geotechnical investigation undertaken for your subdivision to the New Zealand Geotechnical Database (NZGD); to enable this information to be shared between various consultants, engineers and developers which will reduce the costs of geotechnical investigation for all. As more site investigation data becomes available in the NZGD, the uncertainty associated with ground conditions will decrease.

If the geotechnical engineer is unable to upload the investigation results, your approval is sought to make these results available to RLC who will arrange for these results to be uploaded to NZGD.

The New Zealand Geotechnical Database (NZGD) is an online database that provides a searchable source for new and existing geotechnical information and primarily aimed at providing more efficient access to this information. NZGD has been developed for the use of professional geotechnical and structural engineers to access geotechnical data shared by other engineers and their clients, and to share their own data in return. The database is funded by the Ministry of Business, Innovation and Employment's building levy and by the Earthquake Commission and it is free for registered users.

If you have any questions, please contact me, or the duty planner.

Yours faithfully



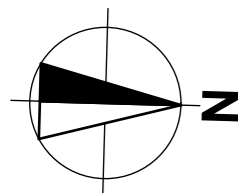
Darren Clark
Senior Consents Planner
Planning & Development Solutions



House Typology Legend				
Typology Name	GFA	Reference no.	No. Beds	No. Units
1B-2	56m ²	-	1	12
3C	100m ²	KO100	3	10
3C - M	100m ²	KO100	3	3
3D	109m ²	KO109	3	4
3D - M	109m ²	KO109	3	3
4C	131m ²	KO131	4	5
TOTAL = 37 Units				
Office/Community	109m ²	KO109	NA	1

KEY:	
	5m clearance from active geothermal bores - refer to surveyor's drawing
	5m clearance from potentially active geothermal bores - refer to surveyor's drawing
	1 or 5m clearance from inactive geothermal bores - refer to surveyor's drawing
	Existing neighbouring trees to have 10m clearance - refer to arborist's drawing
	Existing council street trees - refer to arborist's drawing

Overall Proposed Site Plan - GF



RESOURCE CONSENT
Approved: 13 January 2022
Appn No: RC 17675
Plan No: RC 17675 / 1
Date: 13 January 2022

RevID	Revision	Date
A	Resource Consent Issue	27/08/2021
B	Typology key update	14/09/2021
C	Updated house typology, parking, and Lot lines.	19/10/2021
D	Apartment typology change	08/11/2021

Ranolf Street Development

93 Ranolf Street, Glenholme, Rotorua 3010

Resource Consent Issue

Title
Overall Proposed Site Plan - GF

Date
8/11/2021

Scale
As shown@A3

Client
Kainga Ora Homes and Communities

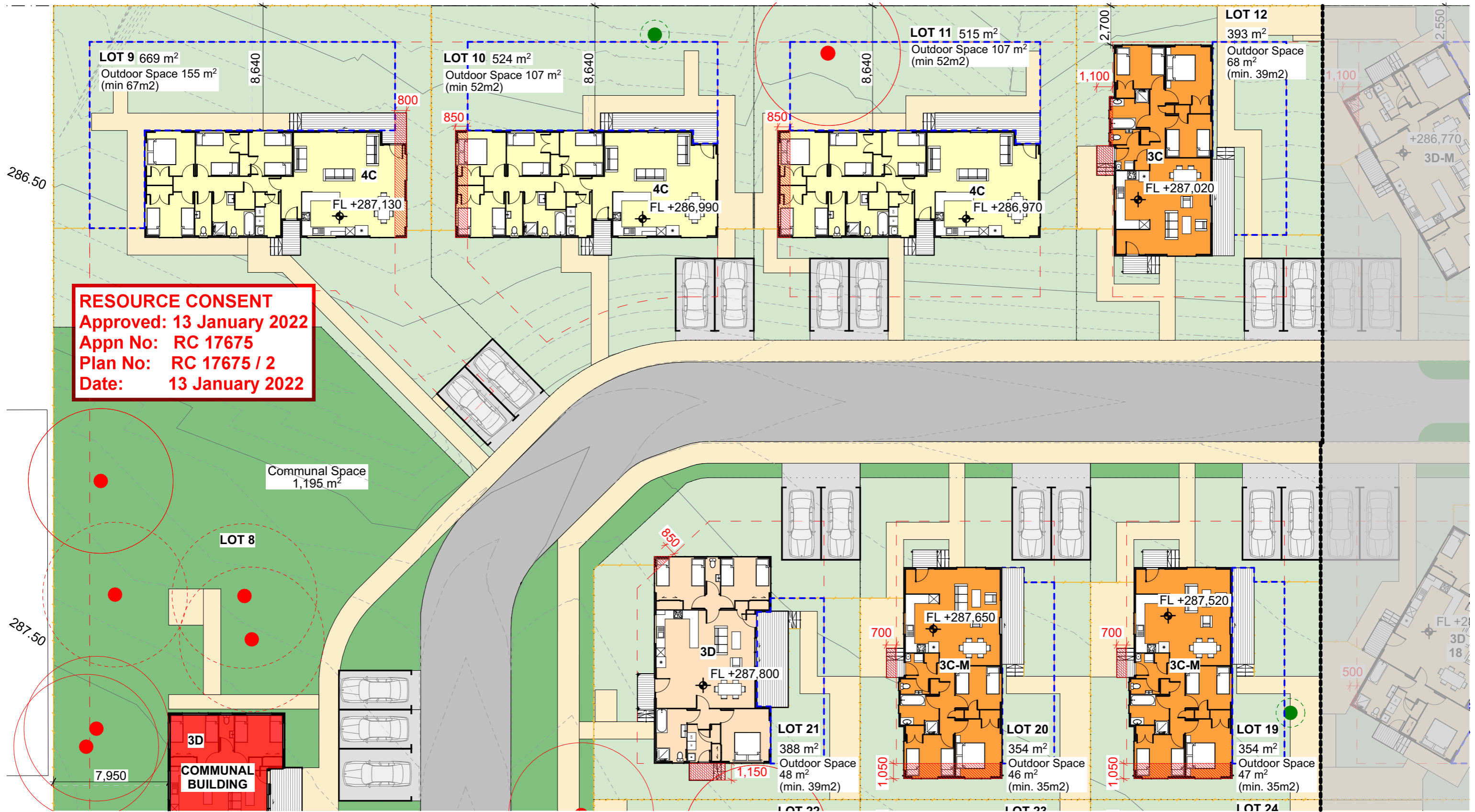


P.O. Box 8807 Symonds St, Auckland, NZ
Ph (09)308-0070 Email: info@penzl.co.nz

ref no.
21039 / 6

sheet no.
A201

revision
D(08/11/2021)



RESOURCE CONSENT
Approved: 13 January 2022
Appn No: RC 17675
Plan No: RC 17675 / 2
Date: 13 January 2022

Proposed Site Plan - Ground Floor Part 1

1:250

PLAN KEY	
	Two Bedroom
	Three Bedroom
	Three Bedroom (ACC)
	Four Bedroom
	Community Building
	Footpath
	Outdoor Space
	Geothermal bore - refer to surveyor's drawings
	Proposed floor level (generally 600mm above F.G.L.) - refer civil engineer's drawings
	Indicative fence lines - refer landscape architect's drawings
	Yard Setbacks - 3m Front, 2.5m Side & Rear
	Yard Infringements

RevID	Revision	Date
A	Resource Consent Issue.	27/08/2021
B	Typology and outdoor space update	14/09/2021
C	Updated house typology, parking, and Lot lines.	19/10/2021

Ranolf Street Development

93 Ranolf Street, Glenholme, Rotorua 3010

Resource Consent Issue

Title
Proposed Site Plan - Ground Floor Part 1

Date
8/11/2021

Scale
As shown@A3

Client
Kainga Ora Homes and Communities

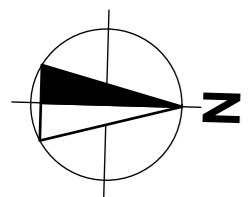


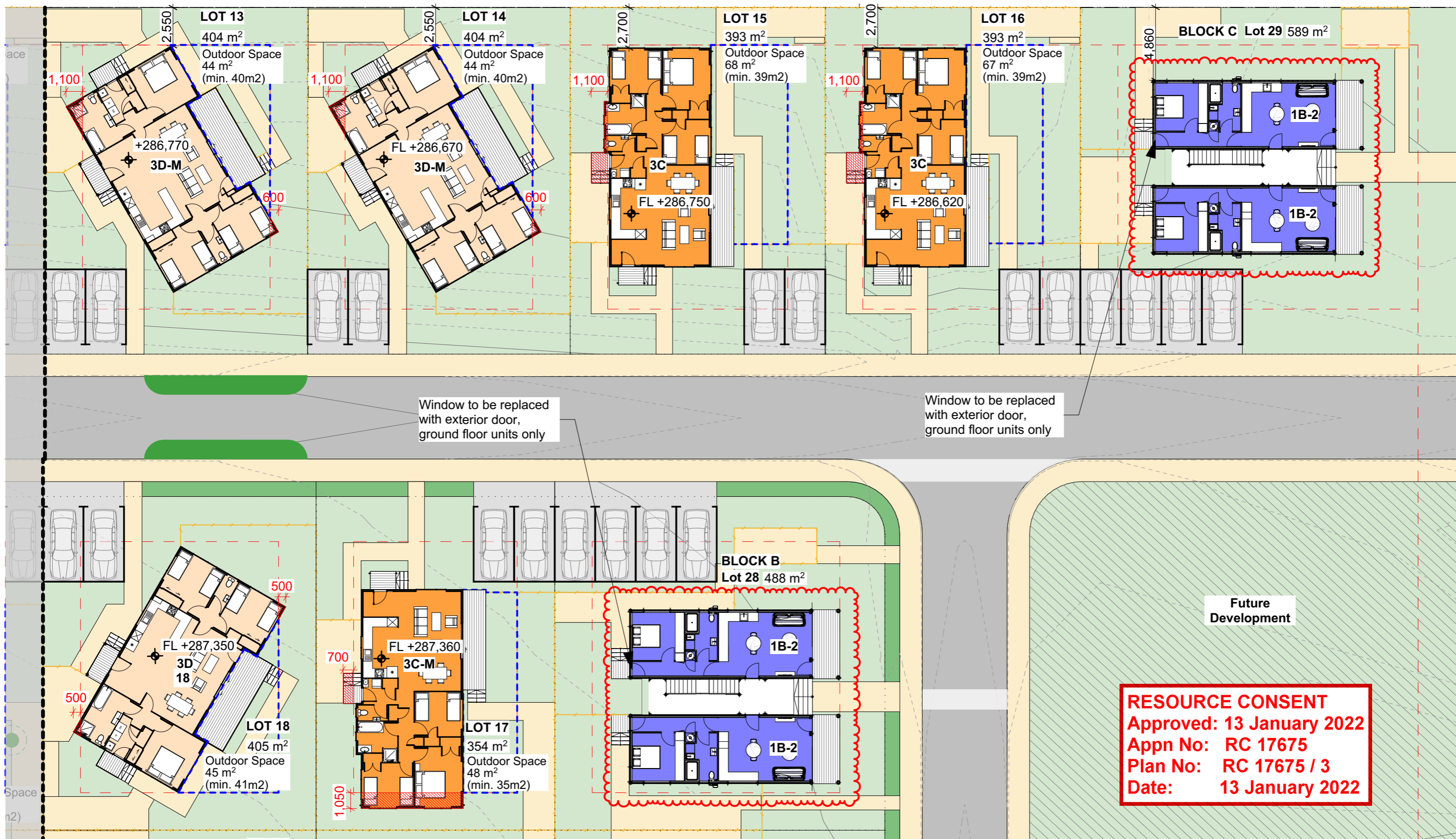
P.O. Box 8807 Symonds St, Auckland, NZ
Ph (09)308-0070 Email: info@penzl.co.nz

ref no.
21039 / 6

sheet no.
A202

revision
C(19/10/2021)





RESOURCE CONSENT
 Approved: 13 January 2022
 Appn No: RC 17675
 Plan No: RC 17675 / 3
 Date: 13 January 2022

Proposed Site Plan - Ground Floor Part 2

1:250

PLAN KEY	
	Two Bedroom
	Three Bedroom
	Three Bedroom (ACC)
	Four Bedroom
	Community Building
	Footpath
	Outdoor Space
	Geothermal bore - refer to surveyor's drawings
	Proposed floor level (generally 600mm above F.G.L) - refer civil engineer's drawings
	Indicative fence lines - refer landscape architect's drawings
	Yard Setbacks - 3m Front, 2.5m Side & Rear
	Yard Infringements

RevID	Revision	Date
A	Resource Consent Issue.	27/08/2021
B	Typology and outdoor space update	14/09/2021
C	Updated house typology, parking, and Lot lines.	19/10/2021
D	Apartment typology change	08/11/2021

Ranolf Street Development

93 Ranolf Street, Glenholme, Rotorua 3010

Resource Consent Issue

Title
Proposed Site Plan - Ground Floor Part 2

Date
8/11/2021

Scale
As shown@A3

Client
Kainga Ora Homes and Communities

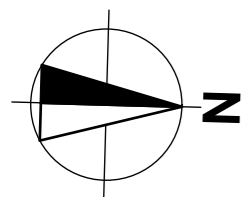


P.O. Box 8807 Symonds St, Auckland, NZ
 Ph (09)308-0070 Email: info@penzl.co.nz

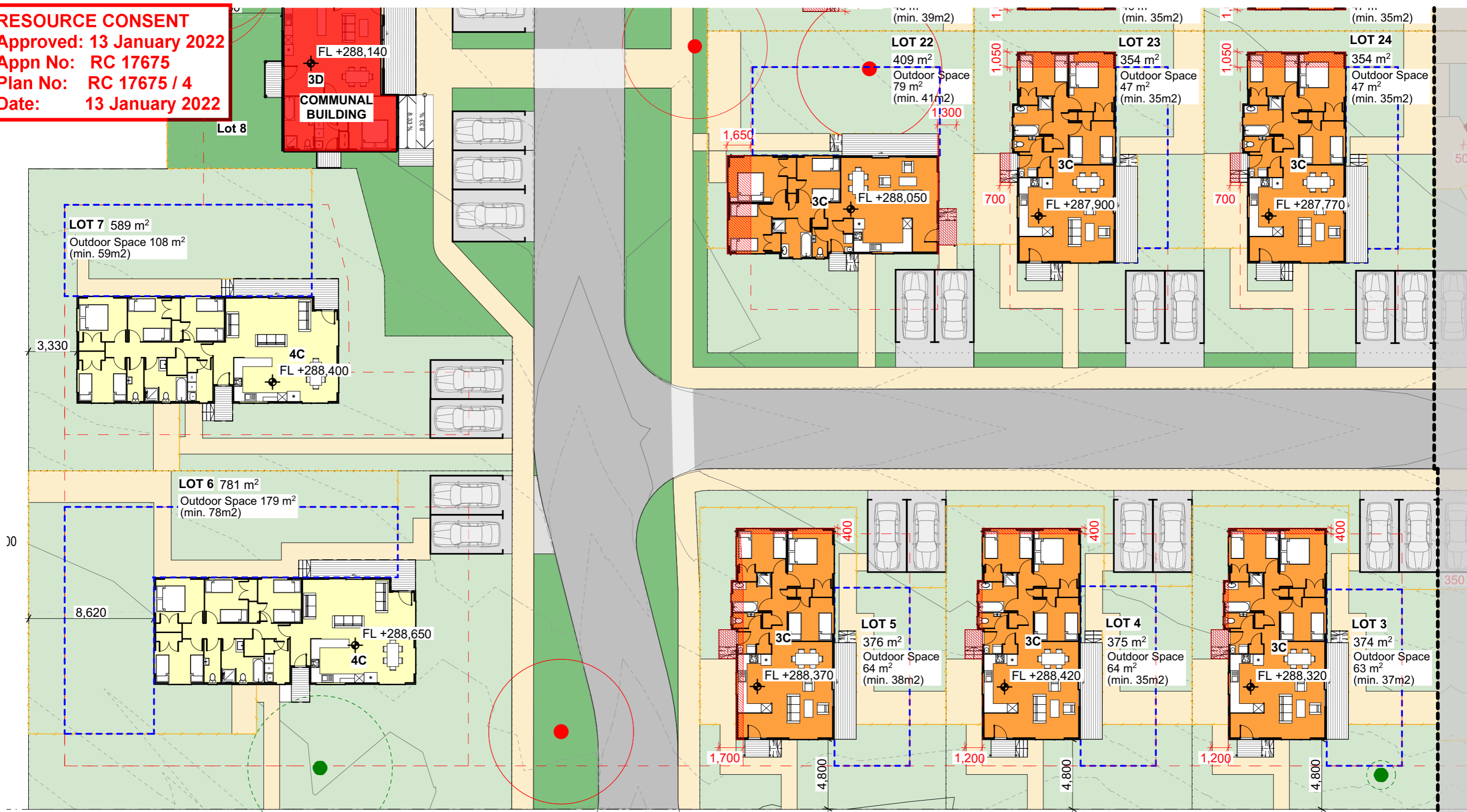
ref no.
21039 / 6

sheet no.
A203

revision
D(08/11/2021)



RESOURCE CONSENT
 Approved: 13 January 2022
 Appn No: RC 17675
 Plan No: RC 17675 / 4
 Date: 13 January 2022

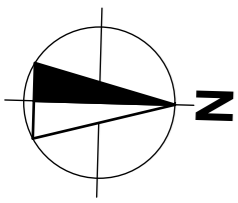


Proposed Site Plan - Ground Floor Part 3

1:250

PLAN KEY

- Two Bedroom
- Three Bedroom
- Three Bedroom (ACC)
- Four Bedroom
- Community Building
- Footpath
- Outdoor Space
- Geothermal bore - refer to surveyor's drawings
- Proposed floor level (generally 600mm above F.G.L.) - refer civil engineer's drawings
- Indicative fence lines - refer landscape architect's drawings
- Yard Setbacks - 3m Front, 2.5m Side & Rear
- Yard Infringements



RevID	Revision	Date
A	Resource Consent Issue.	27/08/2021
B	Typology and outdoor space update	14/09/2021
C	Updated house typology, parking, and Lot lines.	19/10/2021

Ranolf Street Development

93 Ranolf Street, Glenholme, Rotorua 3010

Resource Consent Issue

Title
Proposed Site Plan - Ground Floor Part 3

Date: 8/11/2021
 Scale: As shown@A3

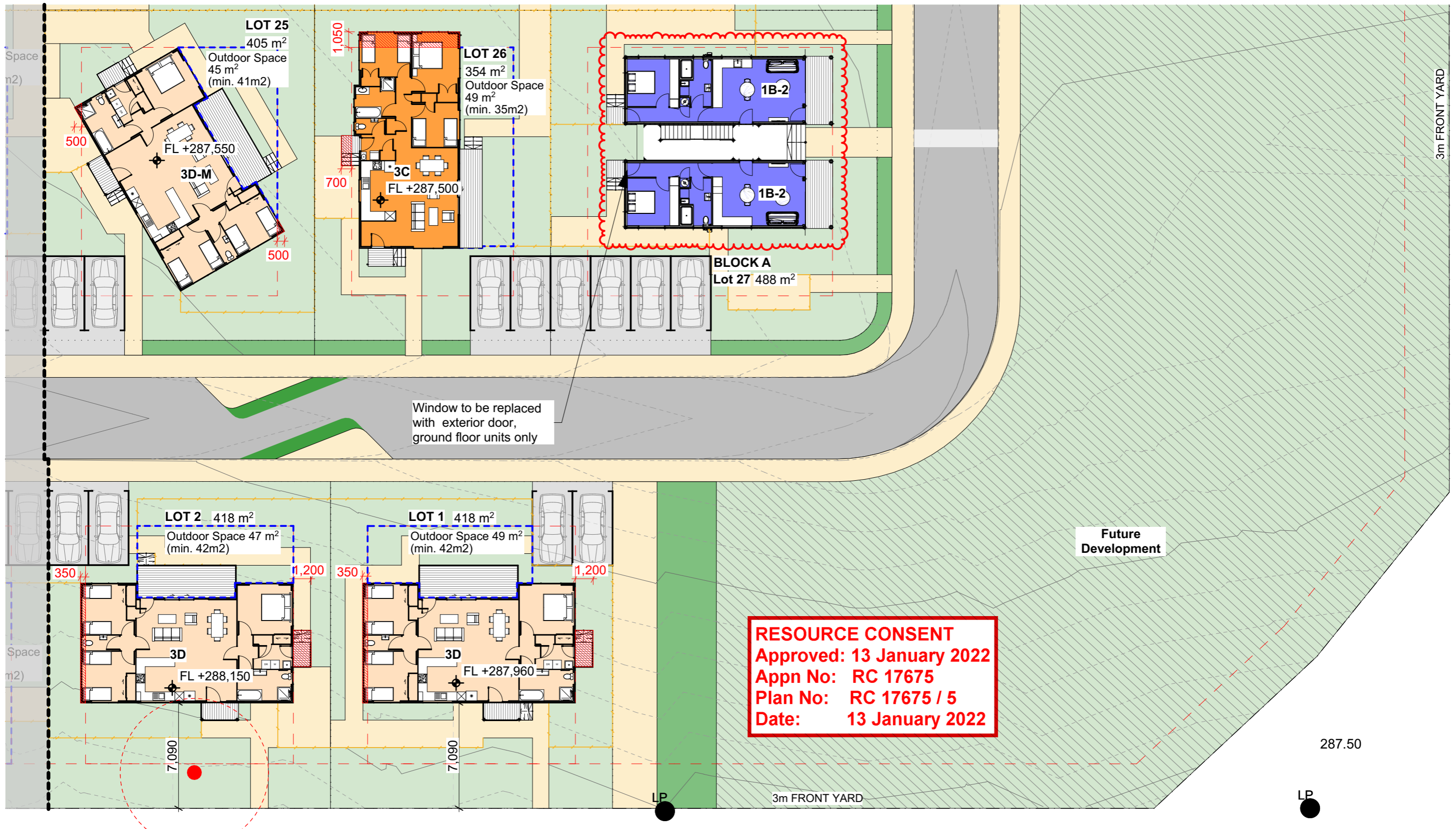
Client
Kainga Ora Homes and Communities



P.O. Box 8807 Symonds St, Auckland, NZ
 Ph (09)308-0070 Email: info@penzl.co.nz

ref no.
21039 / 6

sheet no. A204
 revision C(19/10/2021)



Proposed Site Plan - Ground Floor Part 4

1:250

PLAN KEY	
	Two Bedroom
	Three Bedroom
	Three Bedroom (ACC)
	Four Bedroom
	Community Building
	Footpath
	Outdoor Space
	Geothermal bore - refer to surveyor's drawings
	FL+11,000
	Indicative fence lines - refer landscape architect's drawings
	Yard Setbacks - 3m Front, 2.5m Side & Rear
	Yard Infringements
	Proposed floor level (generally 600mm above F.G.L.) - refer civil engineer's drawings

RevID	Revision	Date
A	Resource Consent Issue.	27/08/2021
B	Typology and outdoor space update	14/09/2021
C	Updated house typology, parking, and Lot lines	19/10/2021
D	Apartment typology change	08/11/2021

Ranolf Street Development

93 Ranolf Street, Glenholme, Rotorua 3010

Resource Consent Issue

Title
Proposed Site Plan - Ground Floor Part 4

Date
8/11/2021

Scale
As shown@A3

Client
Kainga Ora Homes and Communities



P.O. Box 8807 Symonds St, Auckland, NZ
Ph (09)308-0070 Email: info@penzl.co.nz

ref no.
21039 / 6

sheet no.
A205

revision
D(08/11/2021)



RESOURCE CONSENT
 Approved: 13 January 2022
 Appn No: RC 17675
 Plan No: RC 17675 / 6
 Date: 13 January 2022

Proposed Site Plan - Roof Plan

1:750

RevID	Revision	Date
A	Resource Consent Issue	27/08/2021
C	Infringements updated with revised Lot lines	19/10/2021
D	Infringements updated with apartment typology change	08/11/2021

Ranolf Street Development

93 Ranolf Street, Glenholme, Rotorua 3010

Resource Consent Issue
 Title
 Proposed Site Plan - Roof Plan
 Date
 8/11/2021
 Scale
 As shown@A3

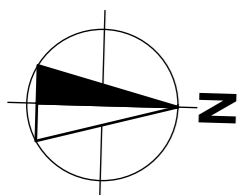
Client
 Kainga Ora Homes and Communities

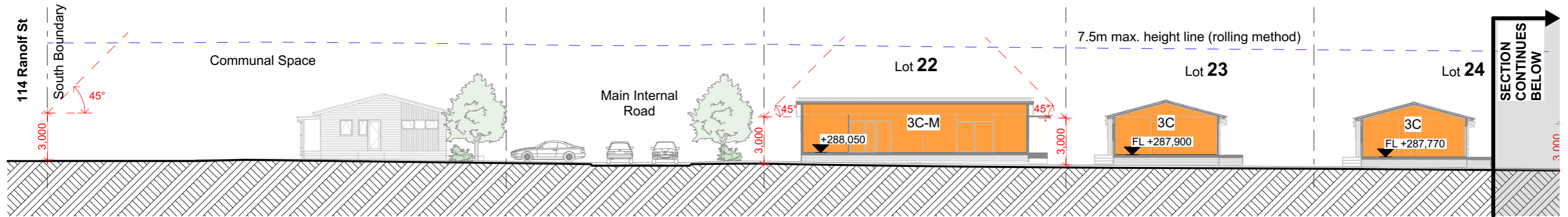


P.O. Box 8807 Symonds St, Auckland, NZ
 Ph (09)308-0070 Email: info@penzl.co.nz
 ref no.
 21039 / 6
 sheet no.
 A206
 revision
 D(08/11/2021)

ROOF PLAN KEY:

	Selected Profile metal cladding
	Standard Max Height Infringement - 7.5m
	Standard HIRB Infringement - 3m@45°

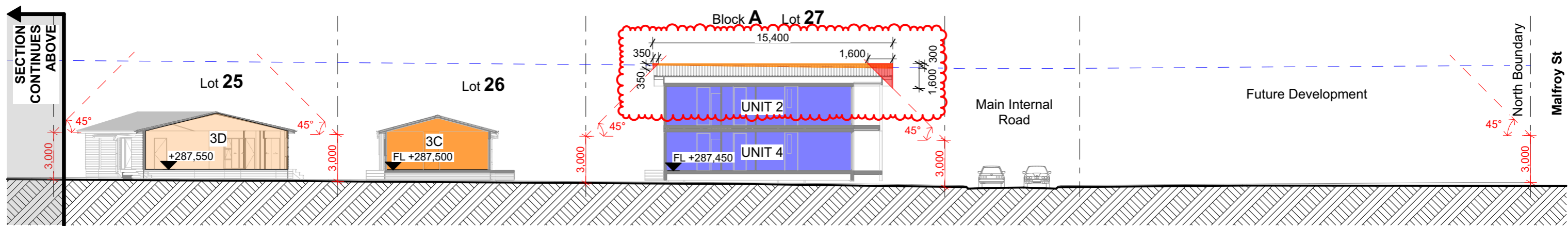




1

Section 1-1

1:250



2

Section 1-1

1:250

RESOURCE CONSENT
 Approved: 13 January 2022
 Appn No: RC 17675
 Plan No: RC 17675 / 7
 Date: 13 January 2022

SECTION KEY:

- Maximum Height Infringement
- HIRB Infringement
- Proposed trees & planting - refer landscape architectural drawings by Greenwood Associates

RevID	Revision	Date
A	Resource Consent Issue	27/08/2021
C	HIRB & height infringement update	19/10/2021
D	HIRB & height infringement update for apartments	08/11/2021

Ranolf Street Development

93 Ranolf Street, Glenholme, Rotorua 3010

Resource Consent Issue

Title
Site Section 1-1

Date
8/11/2021

Scale
As shown@A3

Client
Kainga Ora Homes and Communities

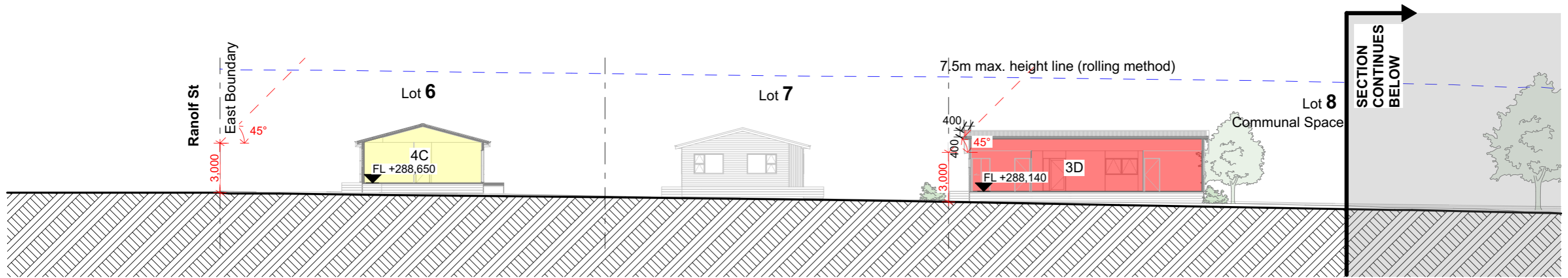


P.O. Box 8807 Symonds St, Auckland, NZ
Ph (09)308-0070 Email: info@penzl.co.nz

ref no.
21039 / 6

sheet no.
A301

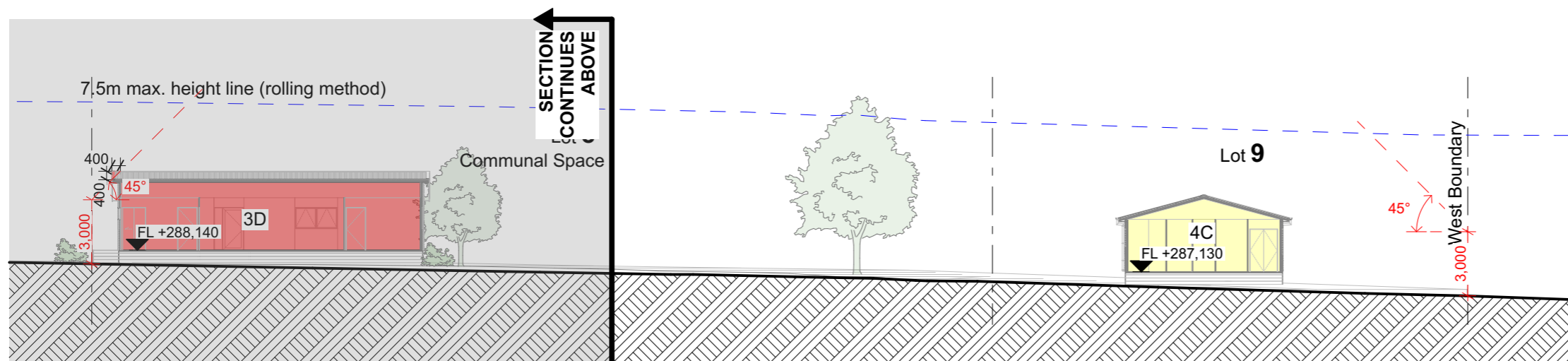
revision
D(08/11/2021)



1

Section A-A

1:250



2

Section A-A

1:250

RESOURCE CONSENT
Approved: 13 January 2022
Appn No: RC 17675
Plan No: RC 17675 / 8
Date: 13 January 2022

SECTION KEY:

- Maximum Height Infringement
- HIRB Infringement
- Proposed trees & planting - refer landscape architectural drawings by Greenwood Associates

Ranolf Street Development

93 Ranolf Street, Glenholme, Rotorua 3010

Resource Consent Issue

Title
 Site Section A-A

Date
 8/11/2021

Scale
 As shown@A3

Client
 Kainga Ora Homes and Communities

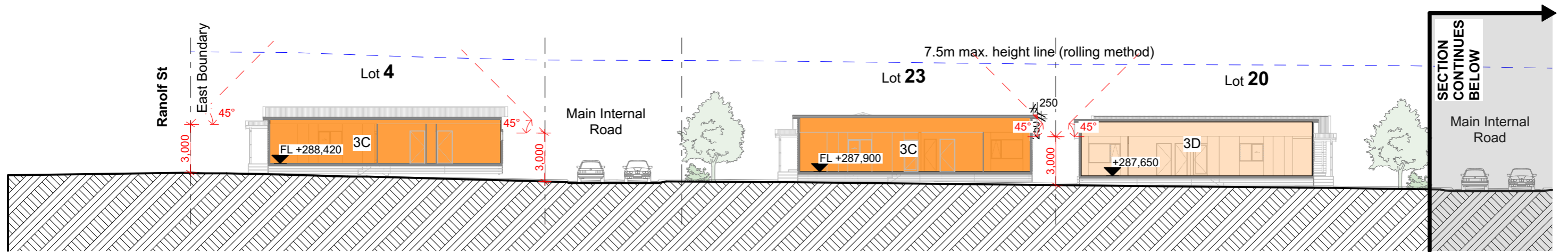


P.O. Box 8807 Symonds St, Auckland, NZ
 Ph (09)308-0070 Email: info@penzl.co.nz

ref no.
 21039 / 6

sheet no.
 A302

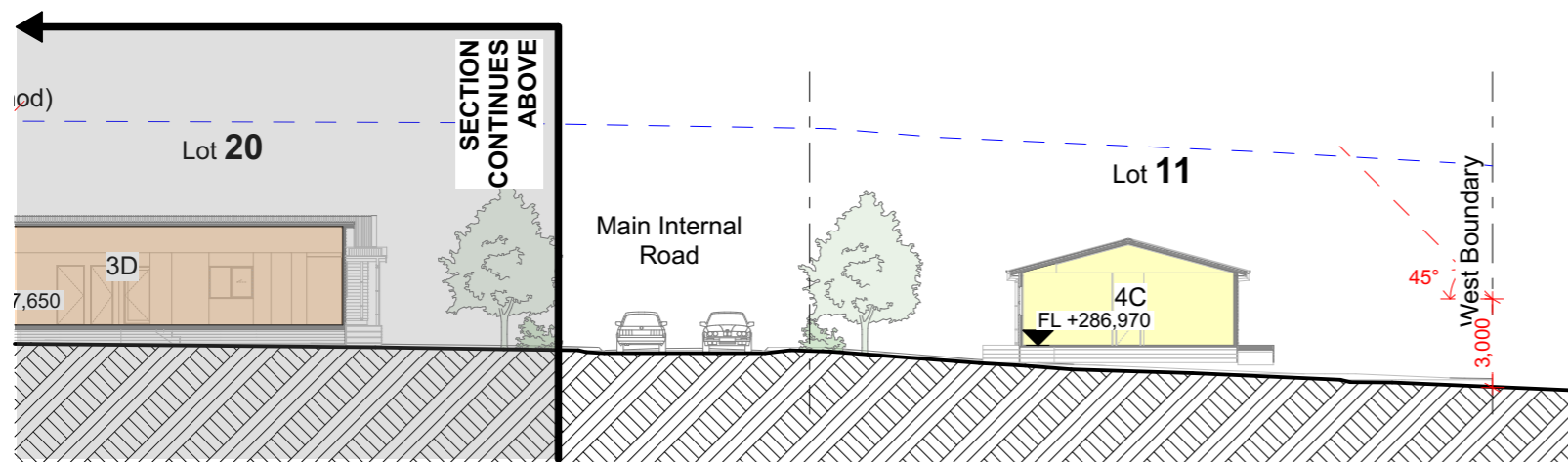
revision
 A(27/08/2021)



1

Section B-B

1:250



2

Section B-B

1:250

RESOURCE CONSENT
Approved: 13 January 2022
Appn No: RC 17675
Plan No: RC 17675 / 9
Date: 13 January 2022

SECTION KEY:

	Maximum Height Infringement
	HIRB Infringement
	Proposed trees & planting - refer landscape architectural drawings by Greenwood Associates

RevID	Revision	Date
A	Resource Consent Issue	27/08/2021
B	Typology naming update	14/09/2021
C	HIRB infringement update	19/10/2021

Ranolf Street Development

93 Ranolf Street, Glenholme, Rotorua 3010

Resource Consent Issue

Title
Site Section B-B

Date
8/11/2021

Scale
As shown@A3

Client
Kainga Ora Homes and Communities

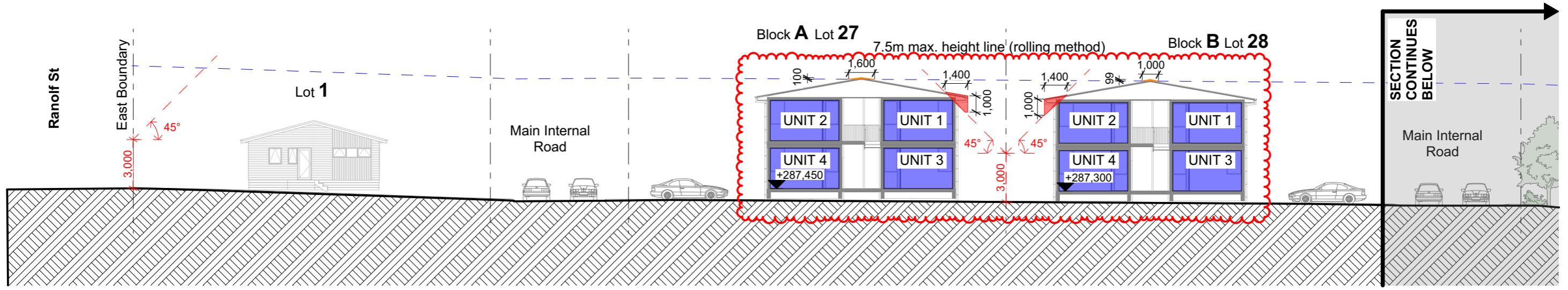


P.O. Box 8807 Symonds St, Auckland, NZ
Ph (09)308-0070 Email: info@penzl.co.nz

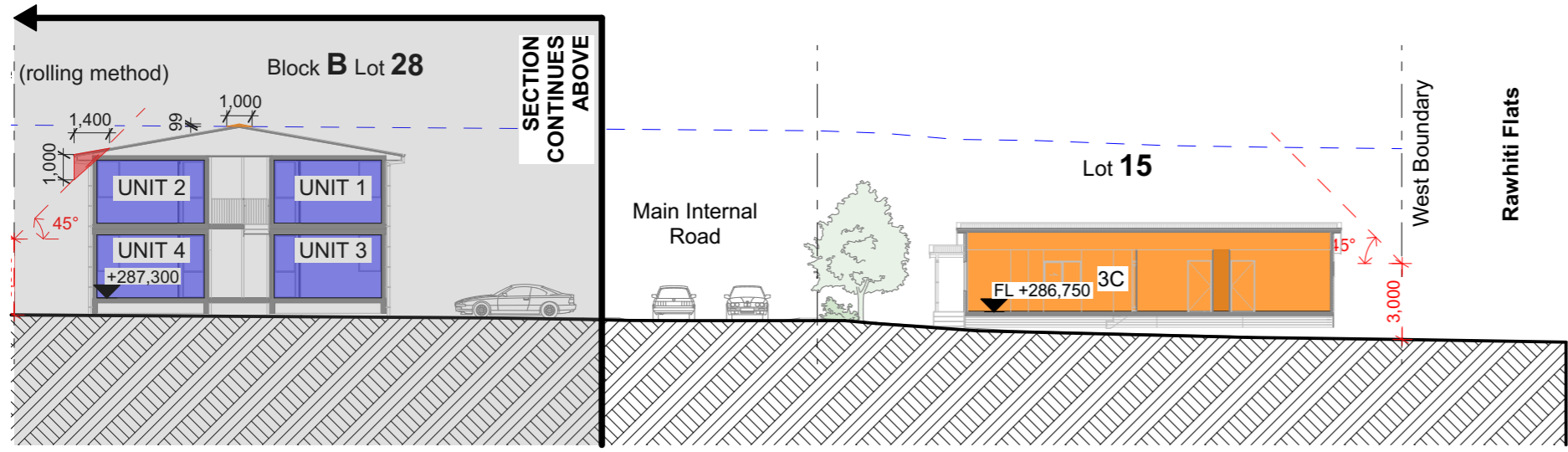
ref no.
21039 / 6

sheet no.
A303

revision
C(19/10/2021)



1 Section C-C 1:250



2 Section C-C 1:250

RESOURCE CONSENT
 Approved: 13 January 2022
 Appn No: RC 17675
 Plan No: RC 17675 / 10
 Date: 13 January 2022

SECTION KEY:

- Maximum Height Infringement
- HIRB Infringement
- Proposed trees & planting - refer landscape architectural drawings by Greenwood Associates

RevID	Revision	Date
A	Resource consent issue.	27/08/2021
C	HIRB & height infringement update	19/10/2021
D	HIRB & height infringement update for apartments	08/11/2021

Ranolf Street Development

93 Ranolf Street, Glenholme, Rotorua 3010
 Resource Consent Issue
 Title Site Section C-C
 Date 8/11/2021
 Scale As shown@A3

Client
 Kainga Ora Homes and Communities

architects
 pacific environments NZ Ltd

P.O. Box 8807 Symonds St, Auckland, NZ
 Ph (09)308-0070 Email: info@penzl.co.nz

ref no. 21039 / 6
 sheet no. A304
 revision D(08/11/2021)








1 North Elevation 1:250



2 North Elevation 1:250

RESOURCE CONSENT
 Approved: 13 January 2022
 Appn No: RC 17675
 Plan No: RC 17675 / 11
 Date: 13 January 2022

ELEVATION KEY:

 Vertical Board and Batten	 Metal Screening	 Panel Cladding
 Horizontal Weatherboard Cladding	 Profiled Metal Roofing	Joinery: Double glazed, powdercoated aluminium joinery

RevID	Revision	Date
A	Resource Consent Issue	27/08/2021
D	Apartment typology change	08/11/2021

Ranolf Street Development

93 Ranolf Street, Glenholme, Rotorua 3010

Resource Consent Issue

Title
Site Elevation - North

Date
8/11/2021

Scale
As shown@A3

Client
Kainga Ora Homes and Communities



P.O. Box 8807 Symonds St, Auckland, NZ
 Ph (09)308-0070 Email: info@penzl.co.nz

ref no.
21039 / 6

sheet no.
A401

revision
D(08/11/2021)



RESOURCE CONSENT
 Approved: 13 January 2022
 Appn No: RC 17675
 Plan No: RC 17675 / 12
 Date: 13 January 2022

ELEVATION KEY:		
	Vertical Board and Batten	
	Horizontal Weatherboard Cladding	
	Profiled Metal Roofing	Joinery: Double glazed, powdercoated aluminium joinery

Ranolf Street Development

93 Ranolf Street, Glenholme, Rotorua 3010

Resource Consent Issue

Title
Site Elevation - East

Date
8/11/2021

Scale
As shown@A3

Client
Kainga Ora Homes and Communities

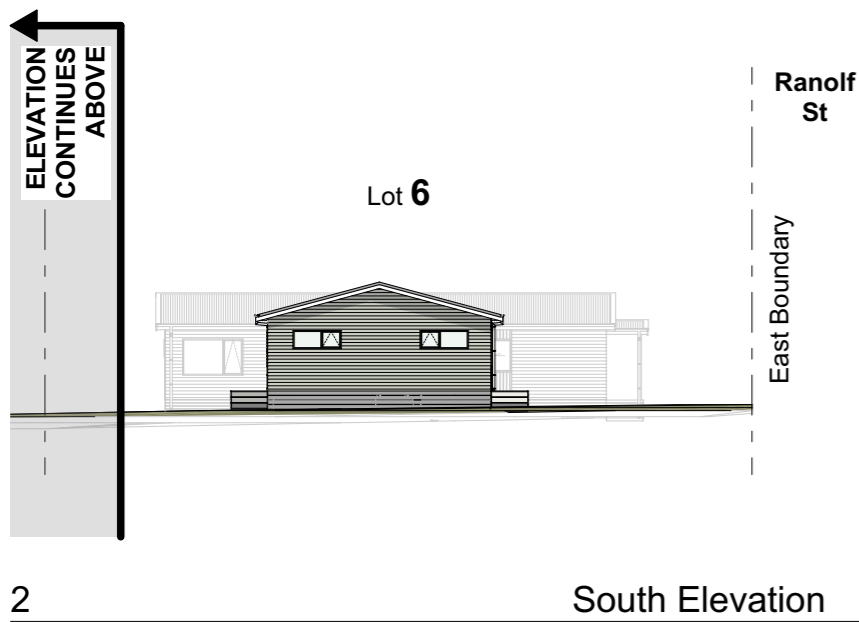


P.O. Box 8807 Symonds St, Auckland, NZ
 Ph (09)308-0070 Email: info@penzl.co.nz

ref no.
21039 / 6






sheet no.
A402

revision
A(27/08/2021)



RESOURCE CONSENT
 Approved: 13 January 2022
 Appn No: RC 17675
 Plan No: RC 17675 / 13
 Date: 13 January 2022

ELEVATION KEY:

 Vertical Board and Batten	 Metal Screening	 Panel Cladding
 Horizontal Weatherboard Cladding	 Profiled Metal Roofing	Joinery: Double glazed, powdercoated aluminium joinery

Ranolf Street Development

93 Ranolf Street, Glenholme, Rotorua 3010

Resource Consent Issue

Title
 Site Elevation - South

Date
 8/11/2021

Scale
 As shown@A3

Client
 Kainga Ora Homes and Communities



P.O. Box 8807 Symonds St, Auckland, NZ
 Ph (09)308-0070 Email: info@penzl.co.nz

ref no.
 21039 / 6

sheet no.
 A403

revision
 A(27/08/2021)



RESOURCE CONSENT
Approved: 13 January 2022
Appn No: RC 17675
Plan No: RC 17675 / 14
Date: 13 January 2022

RevID	Revision	Date
A	Resource Consent Issue	27/08/2021
C	Housing typology update	19/10/2021
D	Apartment typology change	08/11/2021

Ranolf Street Development

93 Ranolf Street, Glenholme, Rotorua 3010

Resource Consent Issue

Title
 Site Elevation - West

Date
 8/11/2021

Scale
 As shown@A3

Client
 Kainga Ora Homes and
 Communities



P.O. Box 8807 Symonds St, Auckland, NZ
 Ph (09)308-0070 Email: info@penzl.co.nz

ref no.
 21039 / 6

sheet no.
 A404

revision
 D(08/11/2021)

ELEVATION KEY:

	Vertical Board and Batten		Metal Screening		Panel Cladding
	Horizontal Weatherboard Cladding		Profiled Metal Roofing	Joinery: Double glazed, powdercoated aluminium joinery	



Ranolf Street Development - Overall Site Perspective

NOTE: Artistic impression. Refer to sheets A201-205 for current site layout

RESOURCE CONSENT
Approved: 13 January 2022
Appn No: RC 17675
Plan No: RC 17675 / 15
Date: 13 January 2022

Ranolf Street Development

93 Ranolf Street, Glenholme, Rotorua 3010

Resource Consent Issue

Title
 Overall Site Perspective

Date
 8/11/2021

Scale
 As shown@A3

Client
 Kainga Ora Homes and Communities



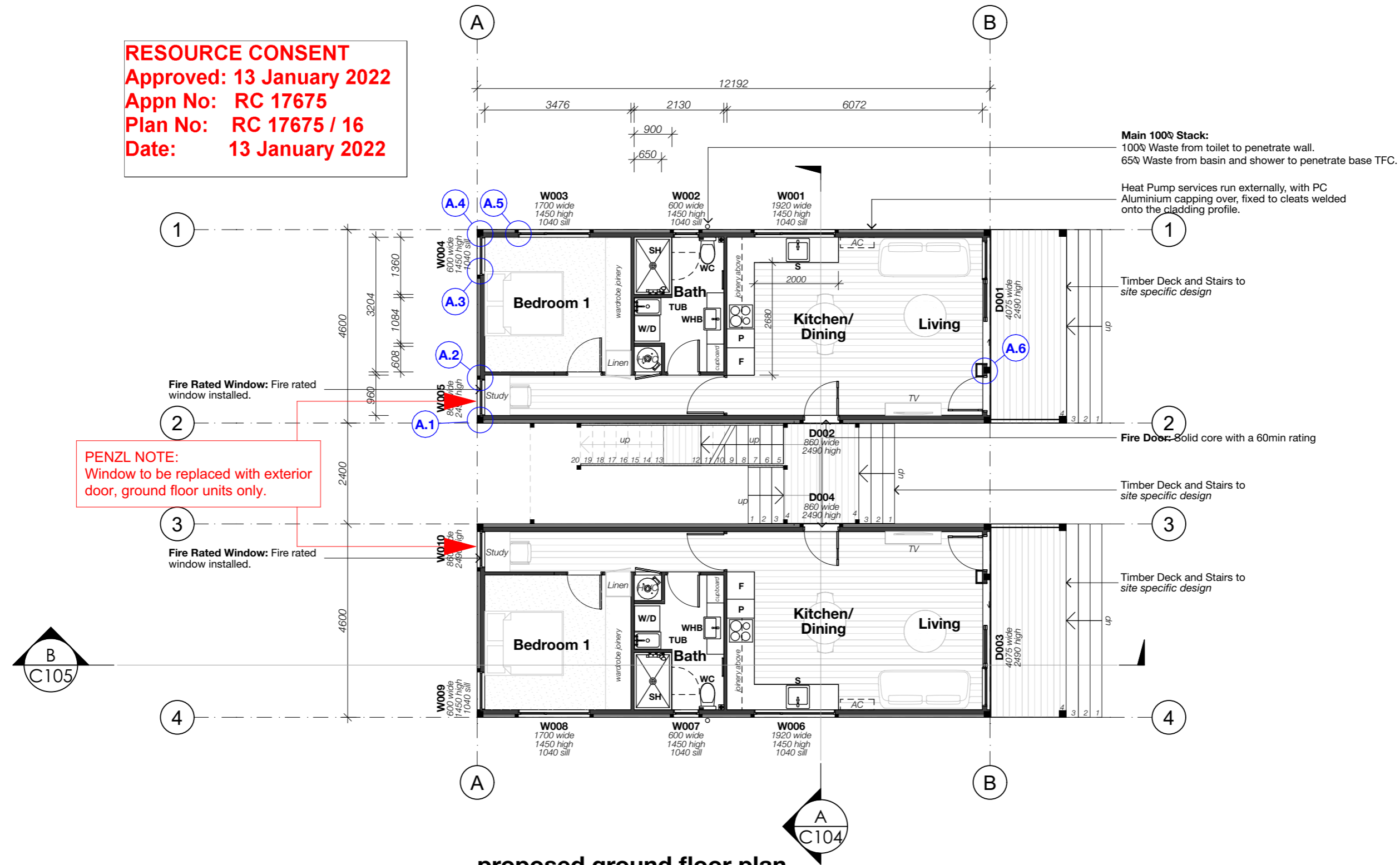
P.O. Box 8807 Symonds St, Auckland, NZ
 Ph (09)308-0070 Email: info@penzl.co.nz

ref no.
 21039 / 6

sheet no.
 A501

revision
 A(27/08/2021)

RESOURCE CONSENT
 Approved: 13 January 2022
 Appn No: RC 17675
 Plan No: RC 17675 / 16
 Date: 13 January 2022

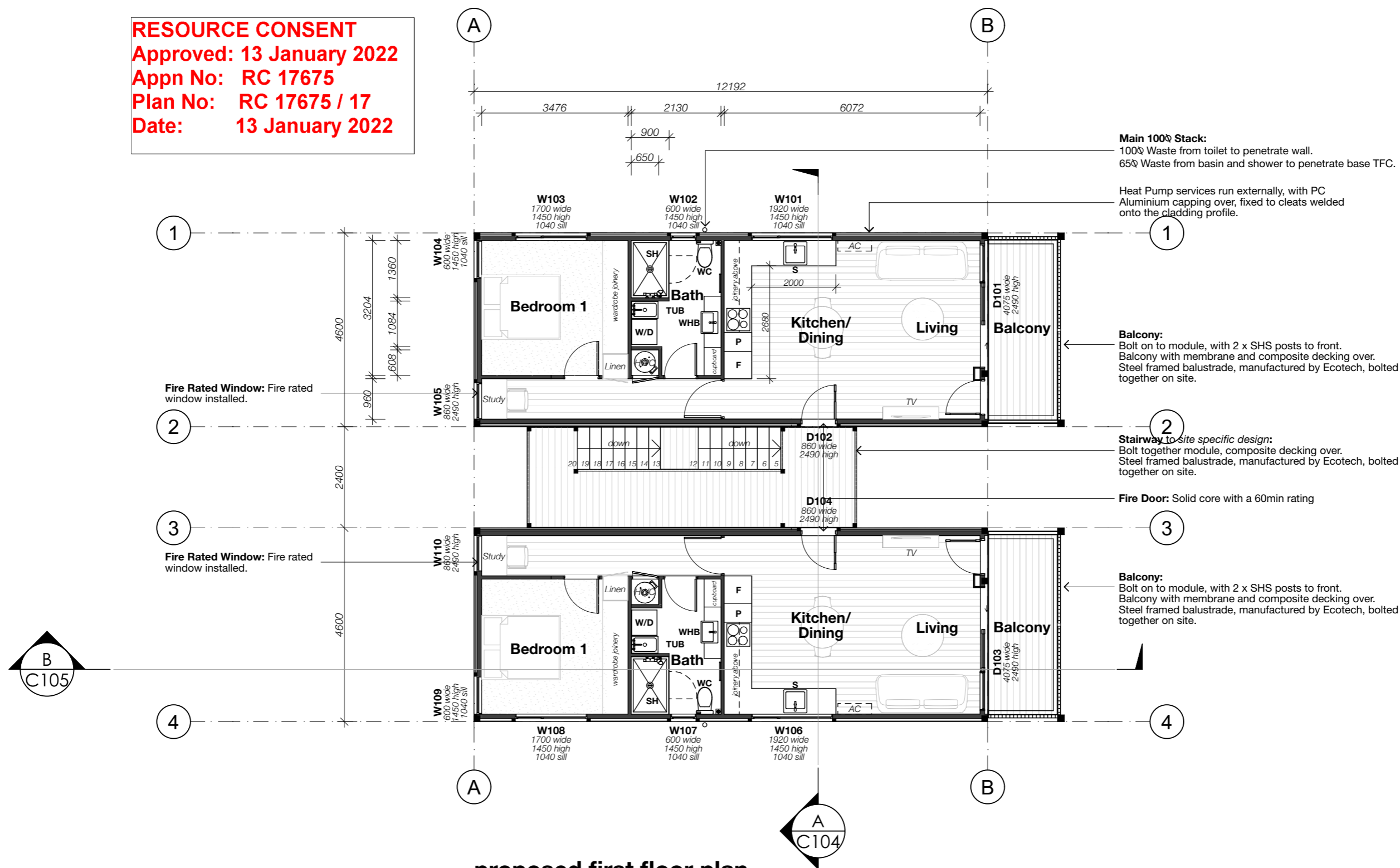


PENZL NOTE:
 Window to be replaced with exterior door, ground floor units only.

proposed ground floor plan
 Scale 1:100
 56m² 1 Bedroom Unit - Centre Stair - Two Level Option

PENZL NOTE: Revised Ecotech plans.

RESOURCE CONSENT
 Approved: 13 January 2022
 Appn No: RC 17675
 Plan No: RC 17675 / 17
 Date: 13 January 2022



proposed first floor plan
 Scale 1:100
 56m² 1 Bedroom Unit - Centre Stair - Two Level Option

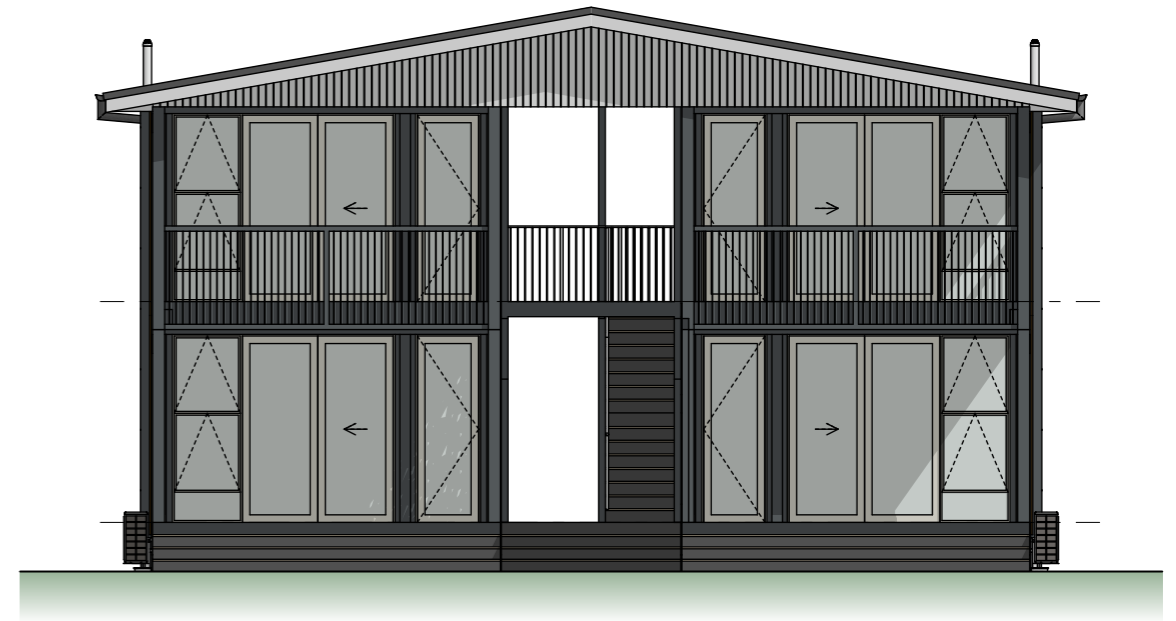
PENZL NOTE: Revised Ecotech plans.



Elevation E1
 scale 1:100

PENZL NOTE: Screens shown on DBA drawings are indicative only. Refer to PENZL drawings for screen design intent and location.

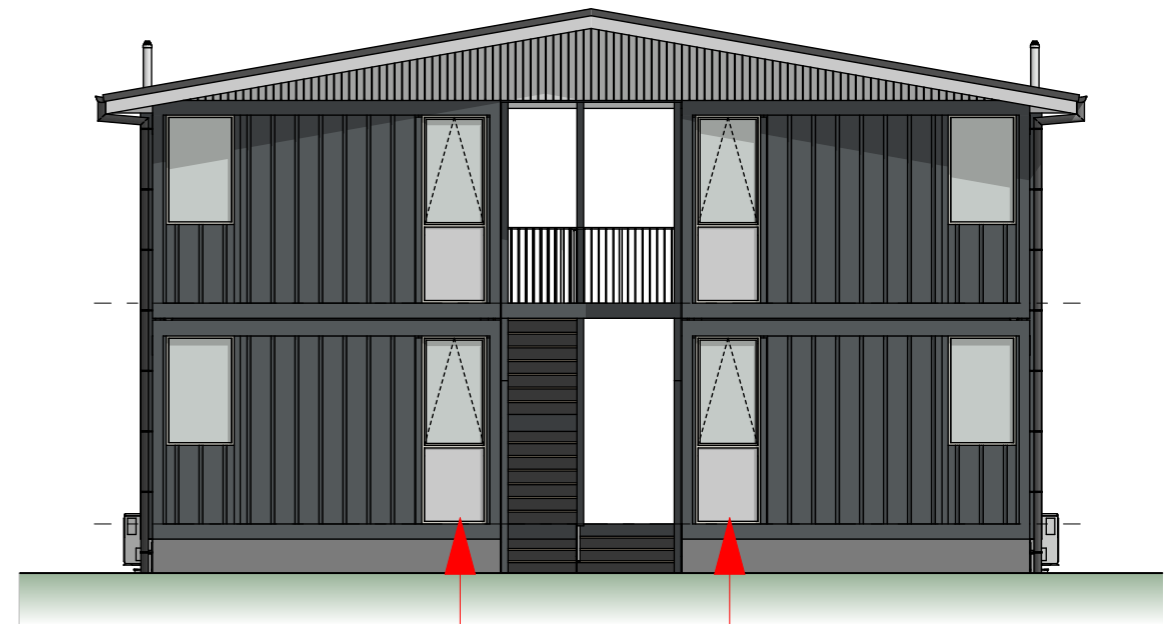
RESOURCE CONSENT
 Approved: 13 January 2022
 Appn No: RC 17675
 Plan No: RC 17675 / 18
 Date: 13 January 2022



Elevation E2
 scale 1:100



Elevation E3
 scale 1:100



Elevation E4
 scale 1:100

PENZL NOTE:
 Window to be replaced with exterior door, ground floor units only.

PENZL NOTE: Revised Ecotech elevations.

INSTRUCTION AS PER BRANZ APPROVED METRA PANEL SYSTEM (CERTIFICATE NO. 364)

ALL WALLS 36mm METRA BOARD, CEILINGS 25mm METRA BOARD

ALL EXTERNAL WALLS WITH BATTENING 70x45mm ON EDGE BATTENS @ 600 CRS TO 2700mm H, 400mm CRS ABOVE 2700mm H WALLS

ALL CONTRACTORS TO CHECK ALL DETAILS AND DIMENSIONS ON SITE PRIOR TO COMMENCING CONSTRUCTION

ALL WORK TO COMPLY WITH CURRENT NZS 3604:2011 AND NZBC

ALL TIMBERS TO BE USED ARE SG 8, UNLESS STATED OTHERWISE

ALL LEVELS TO BE CHECKED ON SITE PRIOR TO COMMENCING CONSTRUCTION

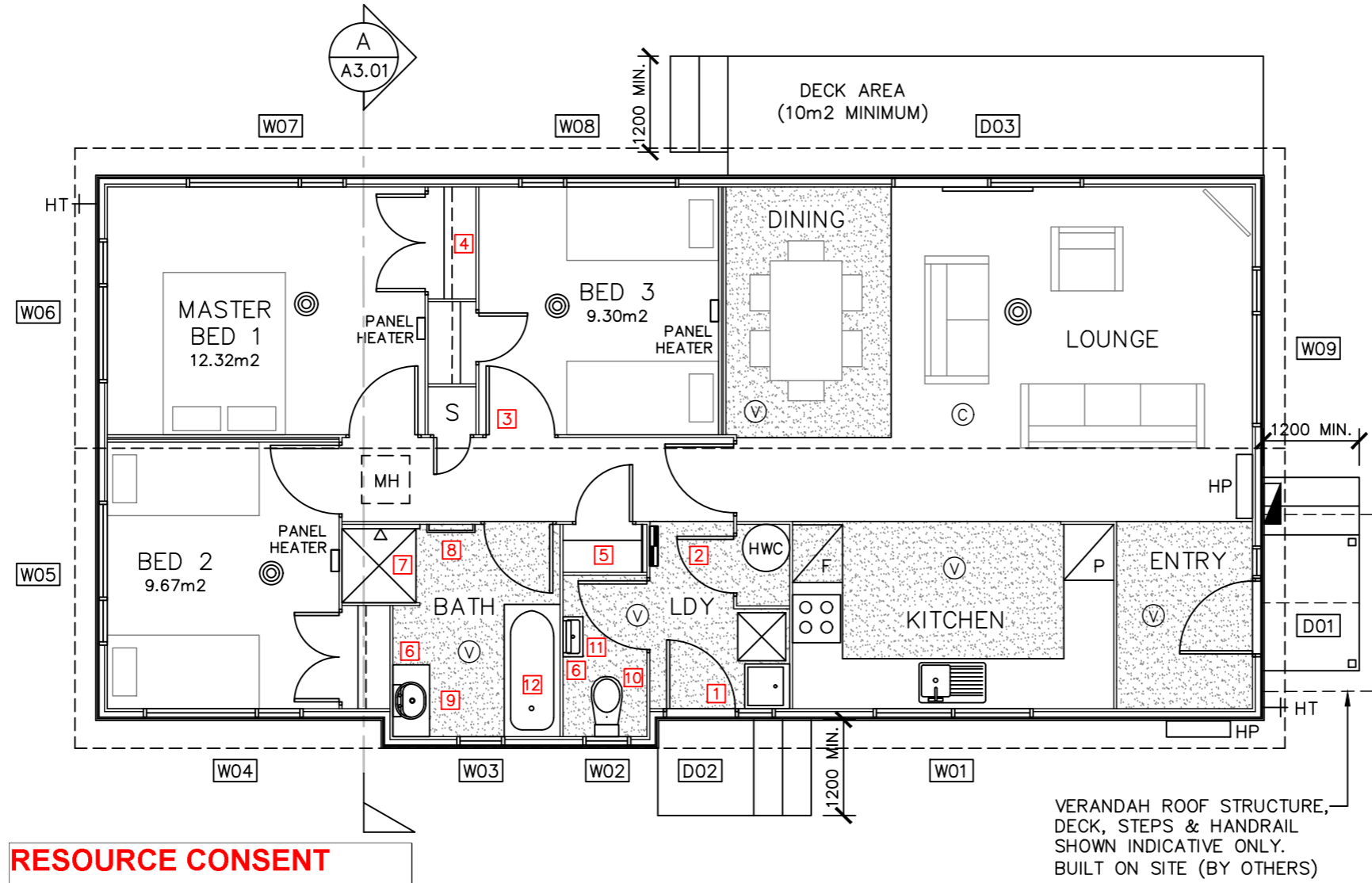
ALL OPENINGS TO HAVE INTEGRAL LINTELS (AS PER 8.4 PAGE 8-8 OR METRA PANEL MANUAL OR AS SPECIFIED IN THE LINTEL SCHEDULE

ALL WALL HEIGHT = 2.44m TO UNDERSIDE OF METRA CEILING UNLESS RAKING OR STATED OTHERWISE

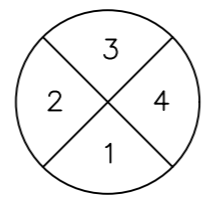
DURABILITY ZONE - D
WIND ZONE - HIGH
EARTHQUAKE ZONE - 2
CLIMATE ZONE - 2

TIMBER TREATMENT
H 1.2 INTERMEDIATE FLOOR JOISTS
INTERNAL WALL FRAMING
CEILING FRAMING
EXTERIOR WALL FRAMING
SUBFLOOR FRAMING
(EXCEPT PILES & BEARERS H5)
H 3.1 CAVITY BATTENS
ENCLOSED BALCONY PLY,
H 3.2 FENCE PALINGS, RAILS NOT IN GROUND CONTACT
EXTERNAL RAFTERS, POSTS AND BEAMS
SLATTED DECKING JOISTS AND BEARERS. BALUSTRADE FRAMING

INSULATION
UNDER FLOOR - UNDERFLOOR POLYESTER BLANKET INSULATION (R1.8)
WALLS - POLYESTER INSULATION (R1.8)
CEILING - POLYESTER INSULATION (R3.6)
GLAZING - DOUBLE GLAZED LOW E GLASS ARGON FILLED IGU (R0.33)



RESOURCE CONSENT
Approved: 13 January 2022
Appn No: RC 17675
Plan No: RC 17675 / 19
Date: 13 January 2022



ELEVATION ORIENTATION

FLOOR PLAN
SCALE 1:75 @ A3

FLOOR AREA:
96.17m2 OVER METRA
100.92m2 OVER CLADDING

FLAT CEILINGS THROUGHOUT

KITCHEN/DINING/LOUNGE COMBINED AREAS:

KITCHEN - 9.38m2
DINING - 8.71m2
LOUNGE - 28.01m2
TOTAL = 46.10m2

ALL OPENING WINDOWS TO HAVE 100mm WINDOW RESTRICTORS

VERANDAH ROOF STRUCTURE, DECK, STEPS & HANDRAIL SHOWN INDICATIVE ONLY. BUILT ON SITE (BY OTHERS)

FLOOR PLAN KEY

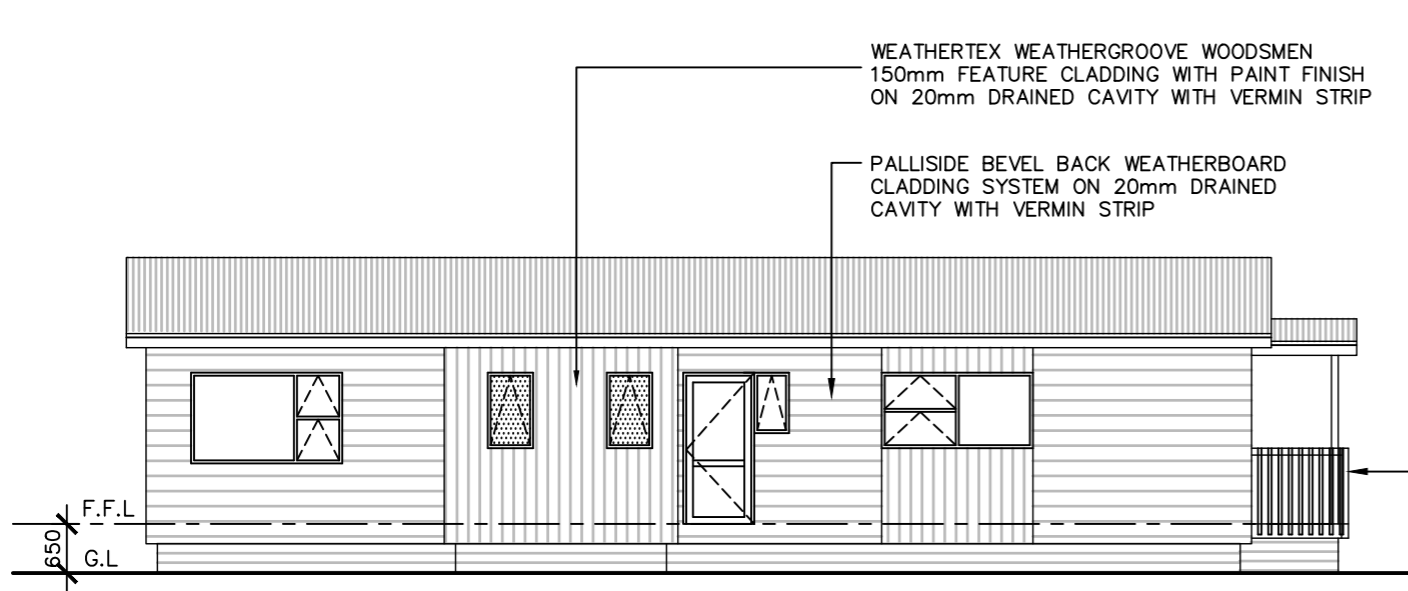
IN ACCORDANCE WITH HOUSING STANDARD: DESIGN (M-255)

- 1 LAUNDRY TUB. AQUATICA STAINLESS STEEL ROBINHOOD SUPER TUB. 560mm WIDE x 562mm DEEP x 900mm HIGH.
- 2 1050mm CLEARANCES THROUGH LAUNDRY & HALLWAYS REQUIRED.
- 3 860mm WIDE DOORS TO BEDROOMS & BATHROOM. (ALL DOORS TO HAVE A SOLID POLYSTYRENE CORE)
- 4 400mm DEEP WARDROBE SHELF FULL WIDTH MADE FROM 36mm METRAPANEL WITH CLOSET RAIL FIXED TO THE FACE FULL LENGTH. - INSTALL 1650mm ABOVE FLOOR LEVEL.
- 5 LINEN CUPBOARD TO HAVE 5 FULL WIDTH SHELVES SPACED AT 360mm VERTICAL CRS MAX. - SHELVES TO BE 70x20mm SOLID TIMBER SLATS WITH 10mm GAP BETWEEN SLATS. - SCREW FIX BOARDS TO 70x20mm RAILS AT ENDS.
- 6 PETER HAY MEDICINE CABINET (PLPHKCT1103) 400mm WIDE x 720mm HIGH x 100mm DEEP WITH MIRROR FINISH (ABOVE VANITIES).
- 7 MERCER STAINLESS STEEL SHOWER TRAY. 925mm x 925mm (H4 BPST151124) - STAINLESS STEEL SHOWER RAIL WITH 100% POLYESTER SHOWER CURTAIN 1800mm LONG WITH WEIGHTED BOTTOM EDGE.
- 8 MILES NELSON NUMBER 24 CUSTOM TOWEL RAIL. - 19mmØ TOWEL RAIL, BRACKET CP & END FLANGES (20g GRADE 304 STAINLESS STEEL)
- 9 ST. MICHEL PALO STELLA WALL HUNG VANITY (900mm WIDE x 460mm DEEP - GLOSS WHITE FINISH)
- 10 VENECIA CLOSE COUPLED SUITE (4S SNV) - 660mm LONG x 790mm HIGH - P-TRAP
- 11 ST. MICHEL PALO STELLA WALL HUNG VANITY (500mm WIDE x 250mm DEEP - GLOSS WHITE FINISH)
- 12 CLEARLITE PACIFIC BATH (01HC000006WH) - 1655mm LONG WITH OVERFLOW & PLUG. STAINLESS STEEL ON HDPE WASTE. - HIGH LIP, INCLUDES BATH FRAME
- © CARPET - GODFREY HIRST TUSCAN GRAPHICS 44810
- ∇ VINYL - POLYFLOR FOREST FX WOODROLL FLOORS AMERICAN OAK 3380
- HP HEAT PUMP UNIT LOCATIONS
- DISTRIBUTION BOARD (INTERNAL) ALLOW TO FRAME UP 45mm MIN CAVITY FOR WIRING
- ▬ METER BOARD (EXTERNAL)
- ∇ SHOWER ROSE/MIXER (ALLOW TO FRAME OUT TO SUIT PIPEWORK)
- ◎ SMOKE ALARMS
- [MH] 600x600mm CEILING HATCH



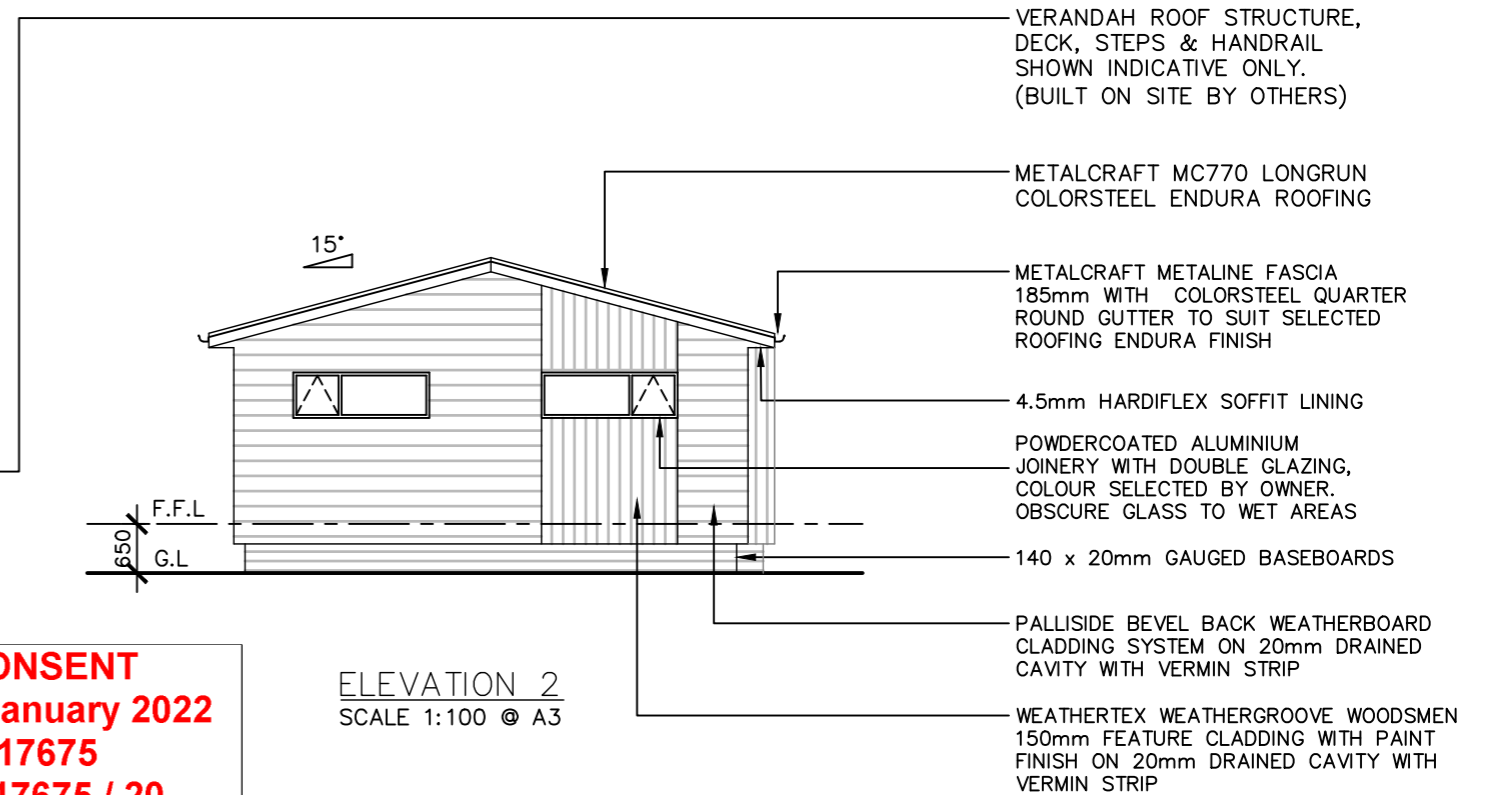
PLB CONSTRUCTION GROUP LTD P.O. BOX 286 HUNTLY PH 07 828 9285 FAX 07 828 8590	Proposed New Home for: KAINGA ORA 100.92m2 - TYPICAL DESIGN - K1 3 BED TYPOLOGY	Drawing Name: FLOOR PLAN	Notes:	Amendments:	Plot Date: 06/09/2021	Drawing No: C101
					Scale: 1:75	

Main contractor shall verify all dimensions before commencing work. Copyright ©



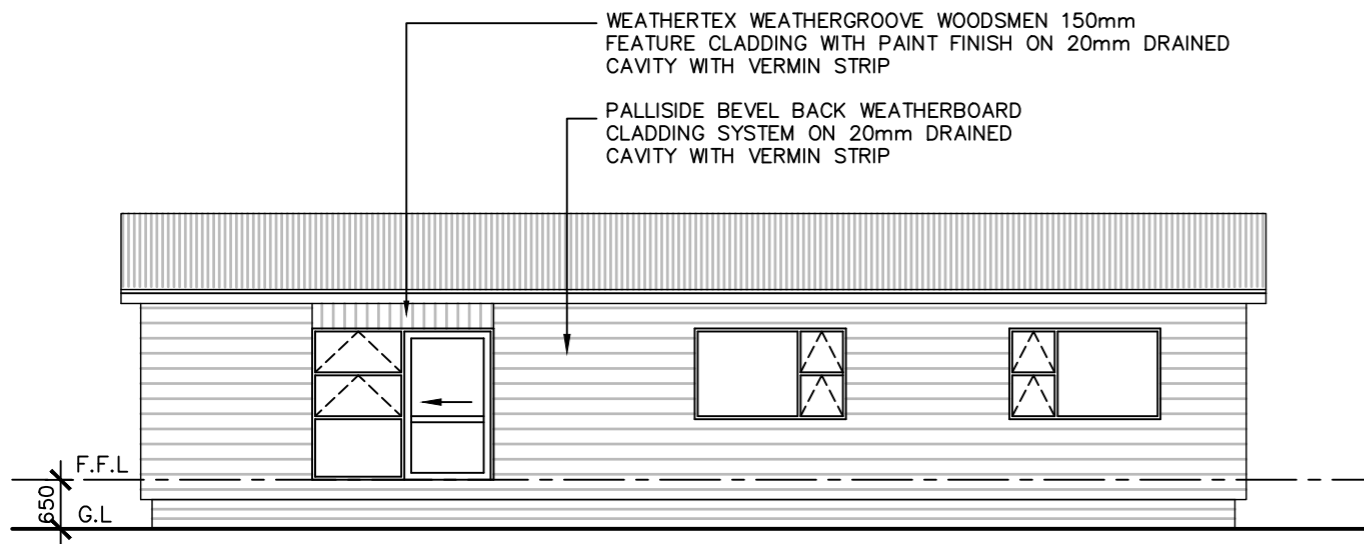
ELEVATION 1
SCALE 1:100 © A3

DECKS NOT SHOWN FOR CLARITY

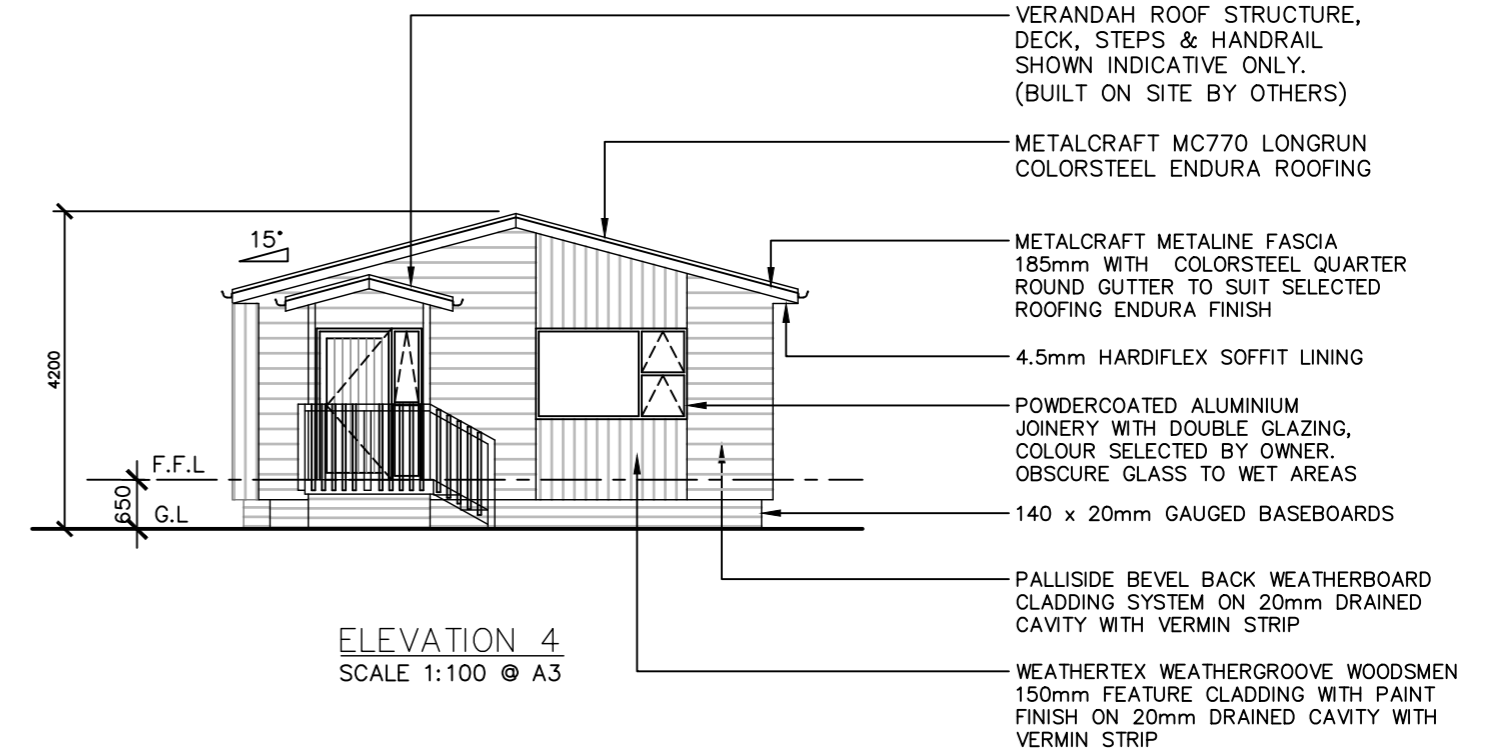


ELEVATION 2
SCALE 1:100 © A3

RESOURCE CONSENT
Approved: 13 January 2022
Appn No: RC 17675
Plan No: RC 17675 / 20
Date: 13 January 2022



ELEVATION 3
SCALE 1:100 © A3



ELEVATION 4
SCALE 1:100 © A3

PLB CONSTRUCTION GROUP LTD P.O.BOX 286 HUNTLY PH 07 828 9285 FAX 07 828 8590	Proposed New Home for: KAINGA ORA 100.92m ² - TYPICAL DESIGN - K1 3 BED TYPOLOGY	Drawing Name: ELEVATIONS	Notes:	Amendments:	Plot Date: 06/09/2021 Scale: 1:100	Drawing No: C102 <small>Main contractor shall verify all dimensions before commencing work. Copyright ©</small>
---	--	-----------------------------	--------	-------------	--	--

ALL CONSTRUCTION AS PER BRANZ APPROVED METRA PANEL SYSTEM (CERTIFICATE NO. 364)

ALL WALLS 36mm METRA BOARD, CEILINGS 25mm METRA BOARD

ALL EXTERNAL WALLS WITH BATTENING 70x45mm ON EDGE BATTENS @ 600 CRS TO 2700mm H, 400mm CRS ABOVE 2700mm H WALLS

ALL CONTRACTORS TO CHECK ALL DETAILS AND DIMENSIONS ON SITE PRIOR TO COMMENCING CONSTRUCTION

ALL WORK TO COMPLY WITH CURRENT NZS 3604:2011 AND NZBC

ALL TIMBERS TO BE USED ARE SG 8, UNLESS STATED OTHERWISE

ALL LEVELS TO BE CHECKED ON SITE PRIOR TO COMMENCING CONSTRUCTION

ALL OPENINGS TO HAVE INTEGRAL LINTELS (AS PER 8.4 PAGE 8-8 OR METRA PANEL MANUAL OR AS SPECIFIED IN THE LINTEL SCHEDULE

ALL WALL HEIGHT = 2.44m TO UNDERSIDE OF METRA CEILING UNLESS RAKING OR STATED OTHERWISE

DURABILITY ZONE - D
WIND ZONE - HIGH
EARTHQUAKE ZONE - 2
CLIMATE ZONE - 2

TIMBER TREATMENT

H 1.2
Intermediate floor joists
Internal wall framing
Ceiling framing
Exterior wall framing
Subfloor framing
(except piles & bearers H5)

H 3.1
Cavity battens
Enclosed balcony ply,

H 3.2
Fence palings, rails not in ground contact
External rafters, posts and beams
Slatted decking joists and bearers. Balustrade framing

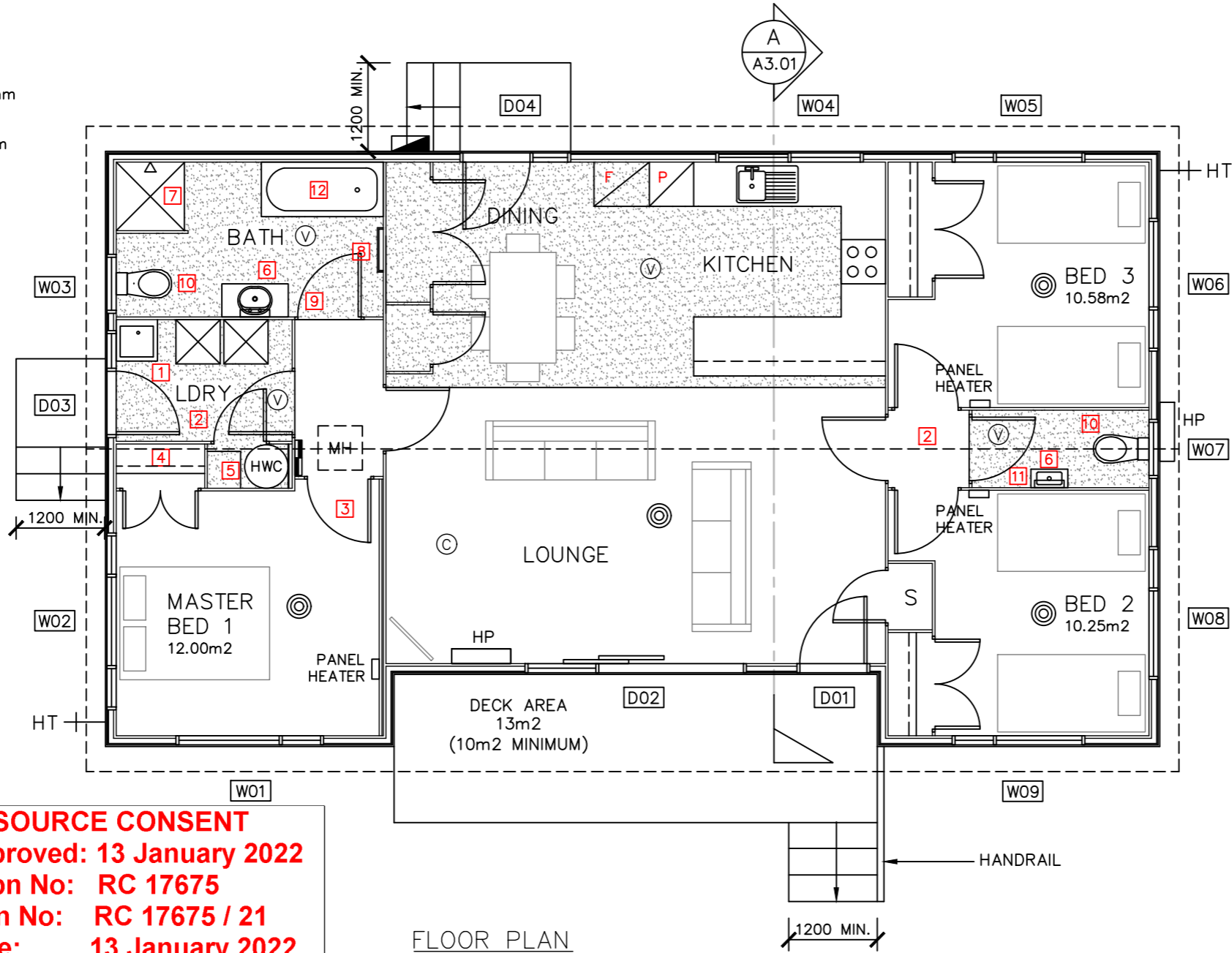
INSULATION

UNDER FLOOR - UNDERFLOOR POLYESTER BLANKET INSULATION (R1.8)

WALLS - POLYESTER INSULATION (R1.8)

CEILING - POLYESTER INSULATION (R3.6)

GLAZING - DOUBLE GLAZED LOW E GLASS ARGON FILLED IGU (R0.33)



RESOURCE CONSENT
Approved: 13 January 2022
Appn No: RC 17675
Plan No: RC 17675 / 21
Date: 13 January 2022



FLOOR PLAN
SCALE 1:75 @ A3

FLOOR AREA:
103.84m2 OVER METRA
108.93m2 OVER CLADDING

FLAT CEILINGS THROUGHOUT.
ALL DOORS LEVEL ACCESS.

KITCHEN/DINING/LOUNGE COMBINED AREAS:

KITCHEN - 12.07m2
DINING - 7.25m2
LOUNGE - 29.16m2
TOTAL = 48.48m2

ALL OPENING WINDOWS TO HAVE 100mm WINDOW RESTRICTORS

- METER BOARD (EXTERNAL)
- SHOWER ROSE/MIXER (ALLOW TO FRAME OUT TO SUIT PIPEWORK)
- SMOKE ALARMS
- 600x600mm CEILING HATCH
- HEAT PUMP UNIT LOCATIONS
- DISTRIBUTION BOARD (INTERNAL) ALLOW TO FRAME UP 50mm MIN CAVITY FOR WIRING

FLOOR PLAN KEY

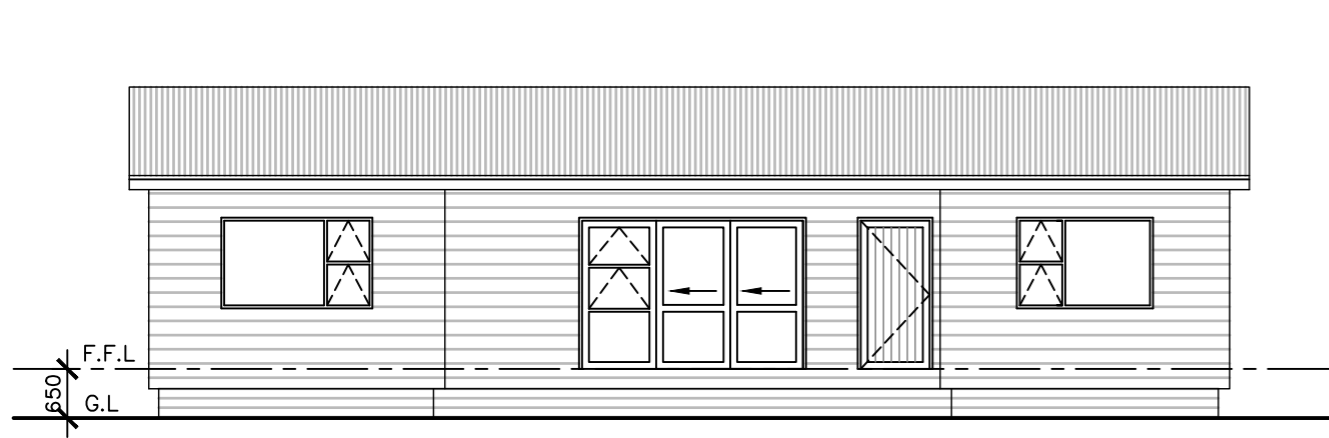
IN ACCORDANCE WITH HOUSING STANDARD: DESIGN (M-255) & NZS 4121:2001 SECTION 10 - TOILET AND SHOWER FACILITIES (FOR ACCESSIBLE BATHROOM REQUIREMENTS)

- LAUNDRY TUB. AQUATICA STAINLESS STEEL ROBINHOOD SUPER TUB. 560mm WIDE x 562mm DEEP x 900mm HIGH.
- 1050mm CLEARANCES THROUGH LAUNDRY & HALLWAYS REQUIRED.
- 860mm WIDE DOORS TO BEDROOMS & BATHROOM. (ALL DOORS TO HAVE A SOLID POLYSTYRENE CORE)
- 400mm DEEP WARDROBE SHELF FULL WIDTH MADE FROM 36mm METRAPANEL WITH CLOSET RAIL FIXED TO THE FACE FULL LENGTH. - INSTALL 1650mm ABOVE FLOOR LEVEL.
- LINEN CUPBOARD TO HAVE 5 FULL WIDTH SHELVES SPACED AT 360mm VERTICAL CRS MAX. - SHELVES TO BE 70x20mm SOLID TIMBER SLATS WITH 10mm GAP BETWEEN SLATS. - SCREW FIX BOARDS TO 70x20mm RAILS AT ENDS.
- PETER HAY MEDICINE CABINET (PLPHKCT1103) 400mm WIDE x 720mm HIGH x 100mm DEEP WITH MIRROR FINISH. (ABOVE HAND BASIN)
- MERCER STAINLESS STEEL SHOWER TRAY. 925mm x 925mm (H4 BPST151124) - STAINLESS STEEL SHOWER RAIL WITH 100% POLYESTER SHOWER CURTAIN 1800mm LONG WITH WEIGHTED BOTTOM EDGE.
- MILES NELSON NUMBER 24 CUSTOM TOWEL RAIL. - 19mmØ TOWEL RAIL, BRACKET CP & END FLANGES (20g GRADE 304 STAINLESS STEEL)
- ST. MICHEL PALO STELLA WALL HUNG VANITY (900mm WIDE x 460mm DEEP - GLOSS WHITE FINISH)
- VENECIA CLOSE COUPLED SUITE (4S SNV) - 660mm LONG x 790mm HIGH - P-TRAP
- ST. MICHEL PALO STELLA WALL HUNG VANITY (500mm WIDE x 250mm DEEP - GLOSS WHITE FINISH)
- CLEARLITE PACIFIC BATH (01HC000006WH) - 1655mm LONG WITH OVERFLOW & PLUG. STAINLESS STEEL ON HDPE WASTE. - HIGH LIP, INCLUDES BATH FRAME
- CARPET - GODFREY HIRST TUSCAN GRAPHICS 44810
- VINYL - POLYFLOR FOREST FX WOODROLL FLOORS AMERICAN OAK 3380



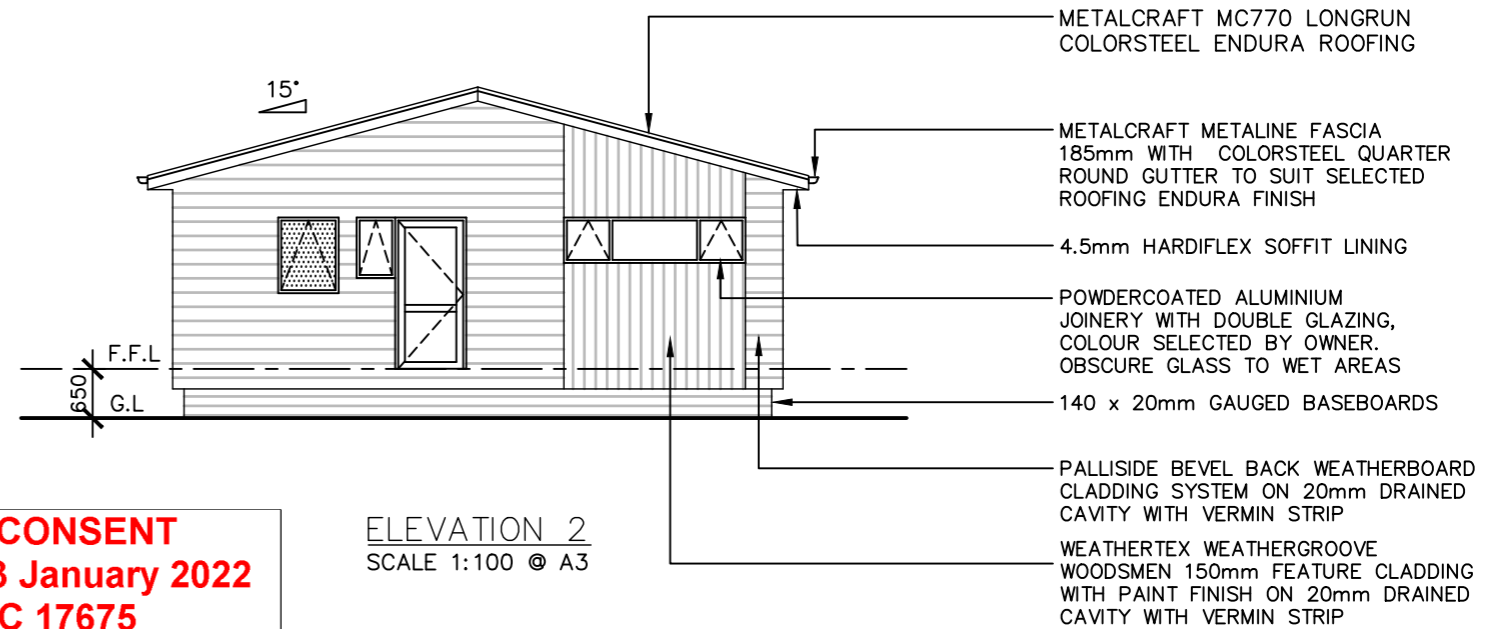
PLB CONSTRUCTION GROUP LTD P.O.BOX 286 HUNTLY PH 07 828 9285 FAX 07 828 8590	Proposed New Home for: KAINGA ORA 108.93m2 - UNIVERSAL DESIGN - K1 3 BED TYPOLOGY	Drawing Name: FLOOR PLAN	Notes:	Amendments:	Plot Date: 06/09/2021	Drawing No: D101
					Scale: 1:75	

Main contractor shall verify all dimensions before commencing work. Copyright ©



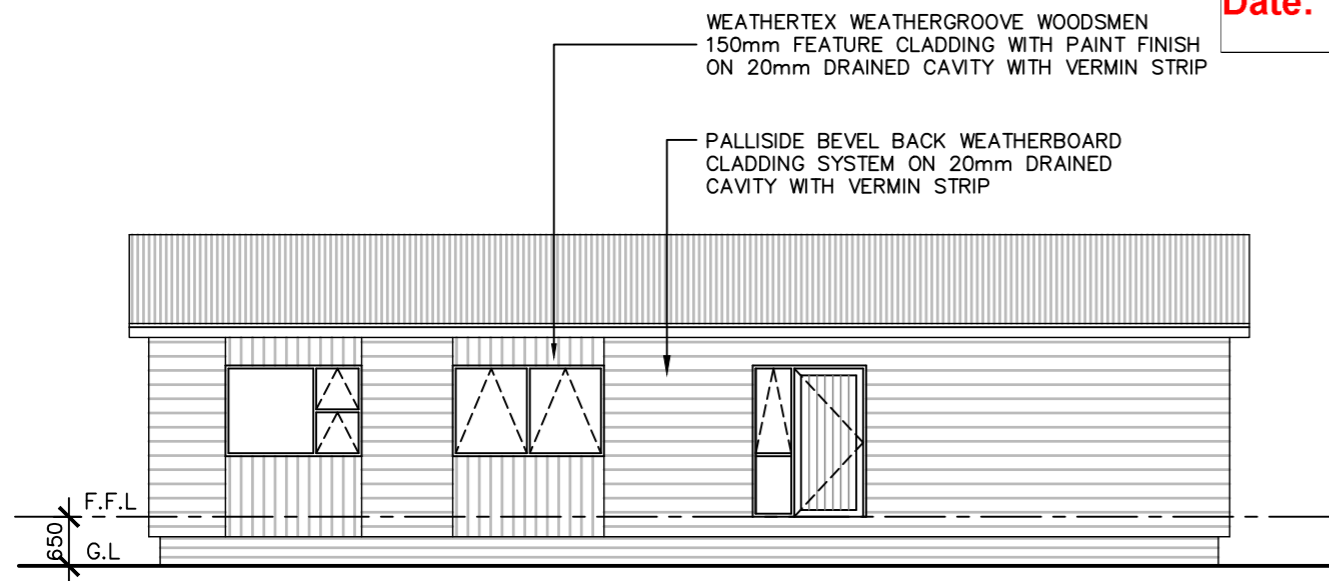
ELEVATION 1
SCALE 1:100 @ A3

DECKS NOT SHOWN FOR CLARITY

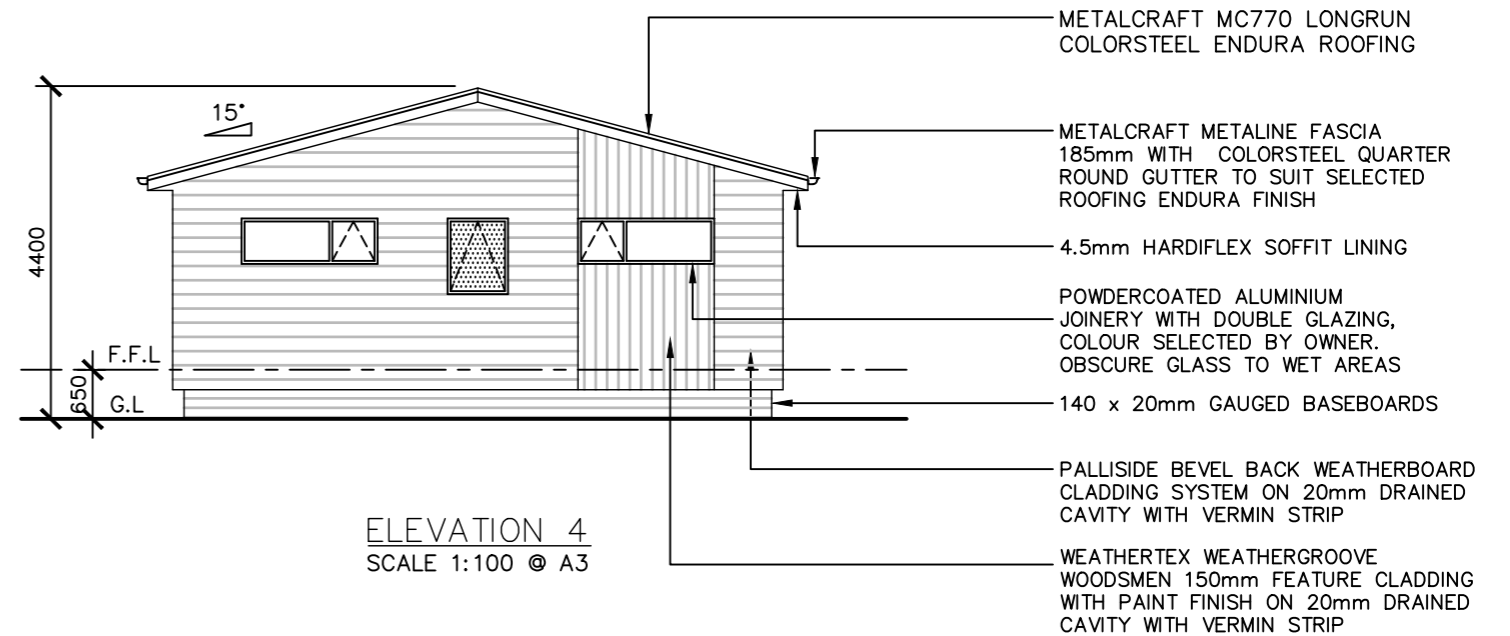


ELEVATION 2
SCALE 1:100 @ A3

RESOURCE CONSENT
Approved: 13 January 2022
Appn No: RC 17675
Plan No: RC 17675 / 22
Date: 13 January 2022



ELEVATION 3
SCALE 1:100 @ A3



ELEVATION 4
SCALE 1:100 @ A3

PLB CONSTRUCTION GROUP LTD P.O.BOX 286 HUNTLY PH 07 828 9285 FAX 07 828 8590	Proposed New Home for: KAINGA ORA 108.93m ² - UNIVERSAL DESIGN - K1 3 BED TYPOLOGY	Drawing Name: ELEVATIONS	Notes:	Amendments:	Plot Date: 06/09/2021 Scale: 1:100	Drawing No: D102 <small>Main contractor shall verify all dimensions before commencing work. Copyright ©</small>
---	--	-----------------------------	--------	-------------	--	--

CONSTRUCTION AS PER BRANZ APPROVED METRA PANEL SYSTEM (CERTIFICATE NO. 364)

ALL WALLS 36mm METRA BOARD, CEILINGS 25mm METRA BOARD

ALL EXTERNAL WALLS WITH BATTENING 70x45mm ON EDGE BATTENS @ 600 CRS TO 2700mm H, 400mm CRS ABOVE 2700mm H WALLS

ALL CONTRACTORS TO CHECK ALL DETAILS AND DIMENSIONS ON SITE PRIOR TO COMMENCING CONSTRUCTION

ALL WORK TO COMPLY WITH CURRENT NZS 3604:2011 AND NZBC

ALL TIMBERS TO BE USED ARE SG 8, UNLESS STATED OTHERWISE

ALL LEVELS TO BE CHECKED ON SITE PRIOR TO COMMENCING CONSTRUCTION

ALL OPENINGS TO HAVE INTEGRAL LINTELS (AS PER 8.4 PAGE 8-8 OR METRA PANEL MANUAL OR AS SPECIFIED IN THE LINTEL SCHEDULE

ALL WALL HEIGHT = 2.44m TO UNDERSIDE OF METRA CEILING UNLESS RAKING OR STATED OTHERWISE

DURABILITY ZONE - D
WIND ZONE - HIGH
EARTHQUAKE ZONE - 2
CLIMATE ZONE - 2

TIMBER TREATMENT

H 1.2
INTERMEDIATE FLOOR JOISTS
INTERNAL WALL FRAMING
CEILING FRAMING
EXTERIOR WALL FRAMING
SUBFLOOR FRAMING
(EXCEPT PILES & BEARERS)

H 3.1
CAVITY BATTENS
ENCLOSED BALCONY PLY,

H 3.2
FENCE PALINGS, RAILS NOT IN GROUND CONTACT
EXTERNAL RAFTERS, POSTS AND BEAMS
SLATTED DECKING JOISTS AND BEARERS. BALUSTRADE FRAMING

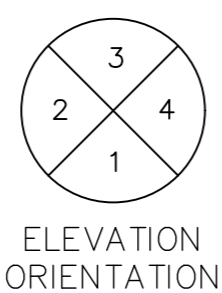
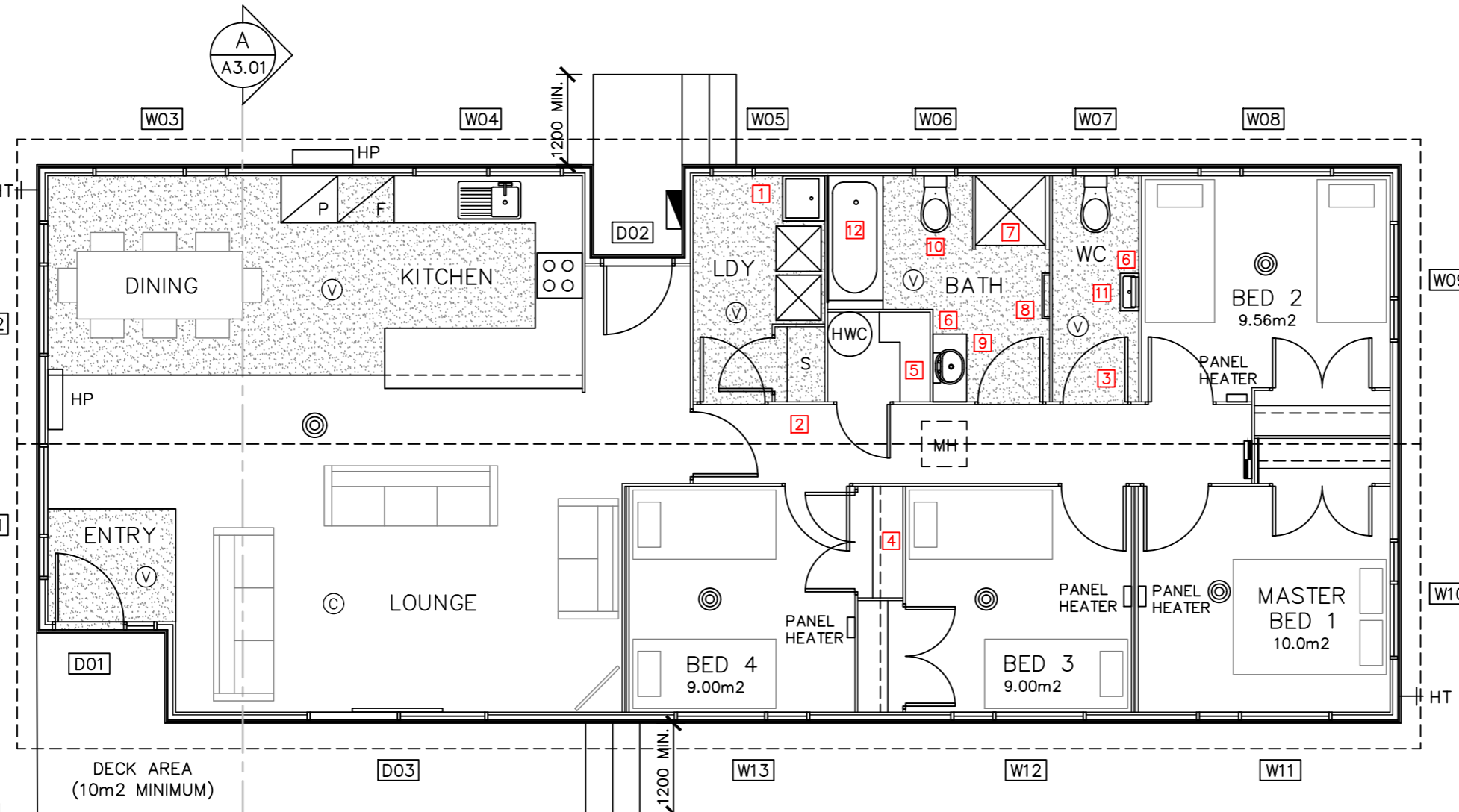
INSULATION

UNDER FLOOR - UNDERFLOOR POLYESTER BLANKET INSULATION (R1.8)

WALLS - POLYESTER INSULATION (R1.8)

CEILING - POLYESTER INSULATION (R3.6)

GLAZING - DOUBLE GLAZED LOW E GLASS ARGON FILLED IGU (R0.33)



ELEVATION ORIENTATION

FLOOR PLAN SCALE 1:75 @ A3

FLOOR AREA:
125.16m² OVER METRA
131.00m² OVER CLADDING

FLAT CEILINGS THROUGHOUT

KITCHEN/DINING/LOUNGE COMBINED AREAS:

KITCHEN - 9.81m²
DINING - 10.33m²
LOUNGE - 34.12m²
TOTAL = 54.26m²

ALL OPENING WINDOWS TO HAVE 100mm WINDOW RESTRICTORS

RESOURCE CONSENT
Approved: 13 January 2022
Appn No: RC 17675
Plan No: RC 17675 / 23
Date: 13 January 2022

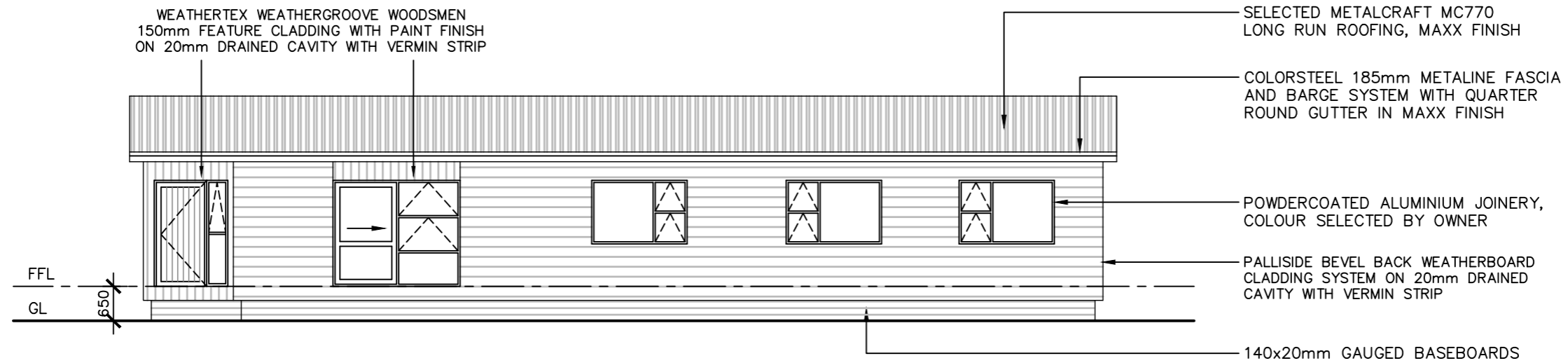
- HP HEAT PUMP UNIT LOCATIONS
- DISTRIBUTION BOARD (INTERNAL) ALLOW TO FRAME UP 45mm MIN CAVITY FOR WIRING
- METER BOARD (EXTERNAL)
- SHOWER ROSE/MIXER (ALLOW TO FRAME OUT TO SUIT PIPEWORK)
- SMOKE ALARMS
- 600x600mm CEILING HATCH

FLOOR PLAN KEY
IN ACCORDANCE WITH HOUSING STANDARD: DESIGN (M-255)

- 1 AQUATICA STAINLESS STEEL LAUNDRY TUB. 600mm WIDE x 562mm DEEP x 900-920mm HIGH.
- 2 1050mm CLEARANCES THROUGH LAUNDRY & HALLWAYS REQUIRED.
- 3 860mm WIDE DOORS TO BEDROOMS & BATHROOM. (ALL DOORS TO HAVE A SOLID POLYSTYRENE CORE)
- 4 400mm DEEP WARDROBE SHELF FULL WIDTH MADE FROM 36mm METRAPANEL WITH CLOSET RAIL FIXED TO THE FACE FULL LENGTH. - INSTALL 1650mm ABOVE FLOOR LEVEL.
- 5 LINEN CUPBOARD TO HAVE 5 FULL WIDTH SHELVES SPACED AT 360mm VERTICAL CRS MAX. - SHELVES TO BE 70x20mm SOLID TIMBER SLATS WITH 10mm GAP BETWEEN SLATS. - SCREW FIX BOARDS TO 70x20mm RAILS AT ENDS.
- 6 PETER HAY MEDICINE CABINET (PLPHKCT1103) 400mm WIDE x 720mm HIGH x 100mm DEEP WITH MIRROR FINISH. (ABOVE HAND BASIN)
- 7 MERCER STAINLESS STEEL SHOWER TRAY. 925mm x 925mm (H4 BPST151124) - STAINLESS STEEL SHOWER RAIL WITH 100% POLYESTER SHOWER CURTAIN 1800mm LONG WITH WEIGHTED BOTTOM EDGE.
- 8 MILES NELSON NUMBER 24 CUSTOM TOWEL RAIL. - 19mmØ TOWEL RAIL, BRACKET CP & END FLANGES (20g GRADE 304 STAINLESS STEEL)
- 9 ST. MICHEL PALO STELLA WALL HUNG VANITY (900mm WIDE x 460mm DEEP - GLOSS WHITE FINISH)
- 10 VENECIA CLOSE COUPLED SUITE (4S SNV) - 660mm LONG x 790mm HIGH - P-TRAP
- 11 ST. MICHEL PALO STELLA WALL HUNG VANITY (500mm WIDE x 250mm DEEP - GLOSS WHITE FINISH)
- 12 CLEARLITE PACIFIC BATH (01HC000006WH) - 1655mm LONG WITH OVERFLOW & PLUG. STAINLESS STEEL ON HDPE WASTE. - HIGH LIP, INCLUDES BATH FRAME
- © CARPET - GODFREY HIRST TUSCAN GRAPHICS 44810
- Ⓟ VINYL - POLYFLOR FOREST FX WOODROLL FLOORS AMERICAN OAK 3380

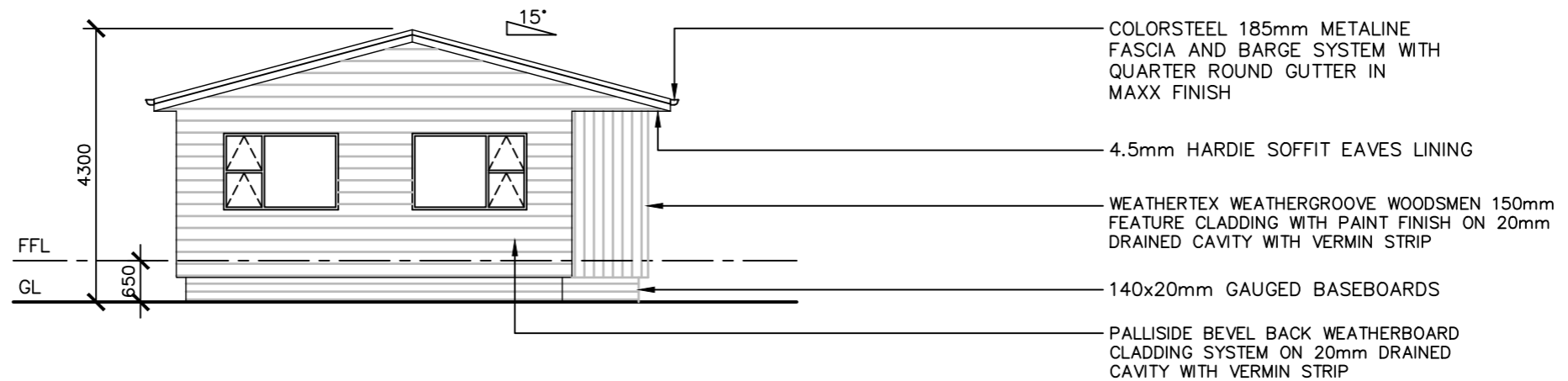


PLB CONSTRUCTION GROUP LTD P.O. BOX 286 HUNTLY PH 07 828 9285 FAX 07 828 8590	Proposed New Home for: KAINGA ORA 131m ² - TYPICAL DESIGN - K1 4 BED TYPOLOGY	Drawing Name: FLOOR PLAN	Notes:	Amendments:	Plot Date: 06/09/2021	Drawing No: E101
					Scale: 1:75	



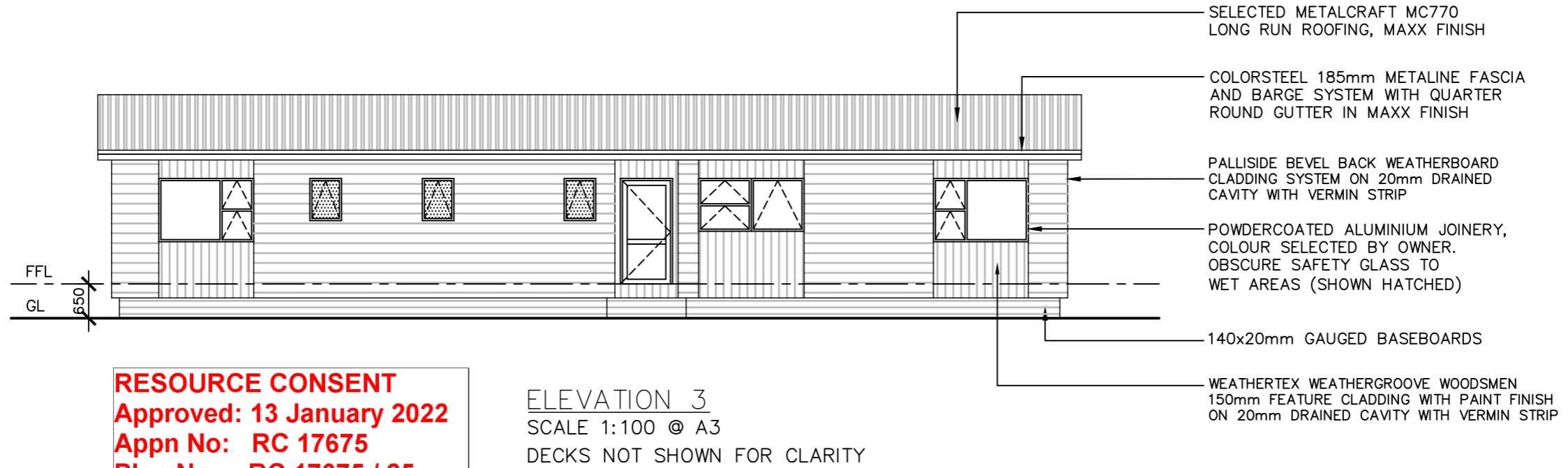
RESOURCE CONSENT
Approved: 13 January 2022
Appn No: RC 17675
Plan No: RC 17675 / 24
Date: 13 January 2022

ELEVATION 1
 SCALE 1:100 @ A3
 DECKS NOT SHOWN FOR CLARITY



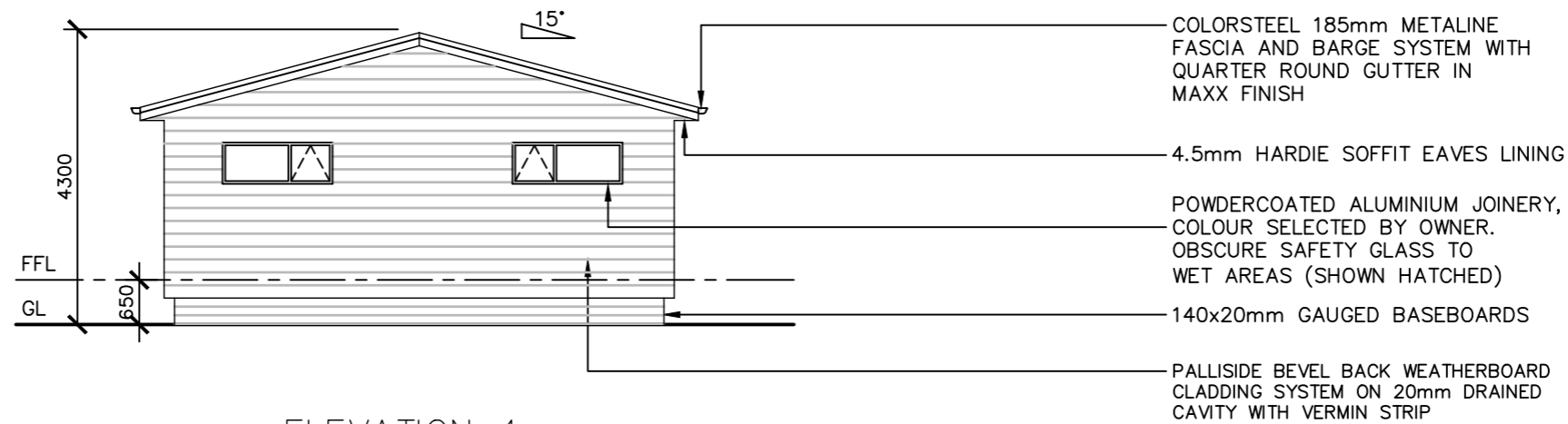
ELEVATION 2
 SCALE 1:100 @ A3

PLB CONSTRUCTION GROUP LTD P.O.BOX 286 HUNTLY PH 07 828 9285 FAX 07 828 8590	Proposed New Home for: KAINGA ORA 131m ² - TYPICAL DESIGN - K1 4 BED TYPOLOGY	Drawing Name: ELEVATIONS - 1	Notes:	Amendments:	Plot Date: 06/09/2021	Drawing No: E102
					Scale: 1:100	



RESOURCE CONSENT
Approved: 13 January 2022
Appn No: RC 17675
Plan No: RC 17675 / 25
Date: 13 January 2022

ELEVATION 3
 SCALE 1:100 @ A3
 DECKS NOT SHOWN FOR CLARITY



ELEVATION 4
 SCALE 1:100 @ A3

PLB CONSTRUCTION GROUP LTD P.O.BOX 286 HUNTLY PH 07 828 9285 FAX 07 828 8590	Proposed New Home for: KAINGA ORA 131m ² - TYPICAL DESIGN - K1 4 BED TYPOLOGY	Drawing Name: ELEVATIONS - 2	Notes:	Amendments:	Plot Date: 06/09/2021 Scale: 1:100	Drawing No: E103 <small>Main contractor shall verify all dimensions before commencing work. Copyright ©</small>
---	--	--	--------	-------------	--	--

RESOURCE CONSENT
Approved: 13 January 2022
Appn No: RC 17675
Plan No: RC 17675 / 26
Date: 13 January 2022

Landscape Plan Set for

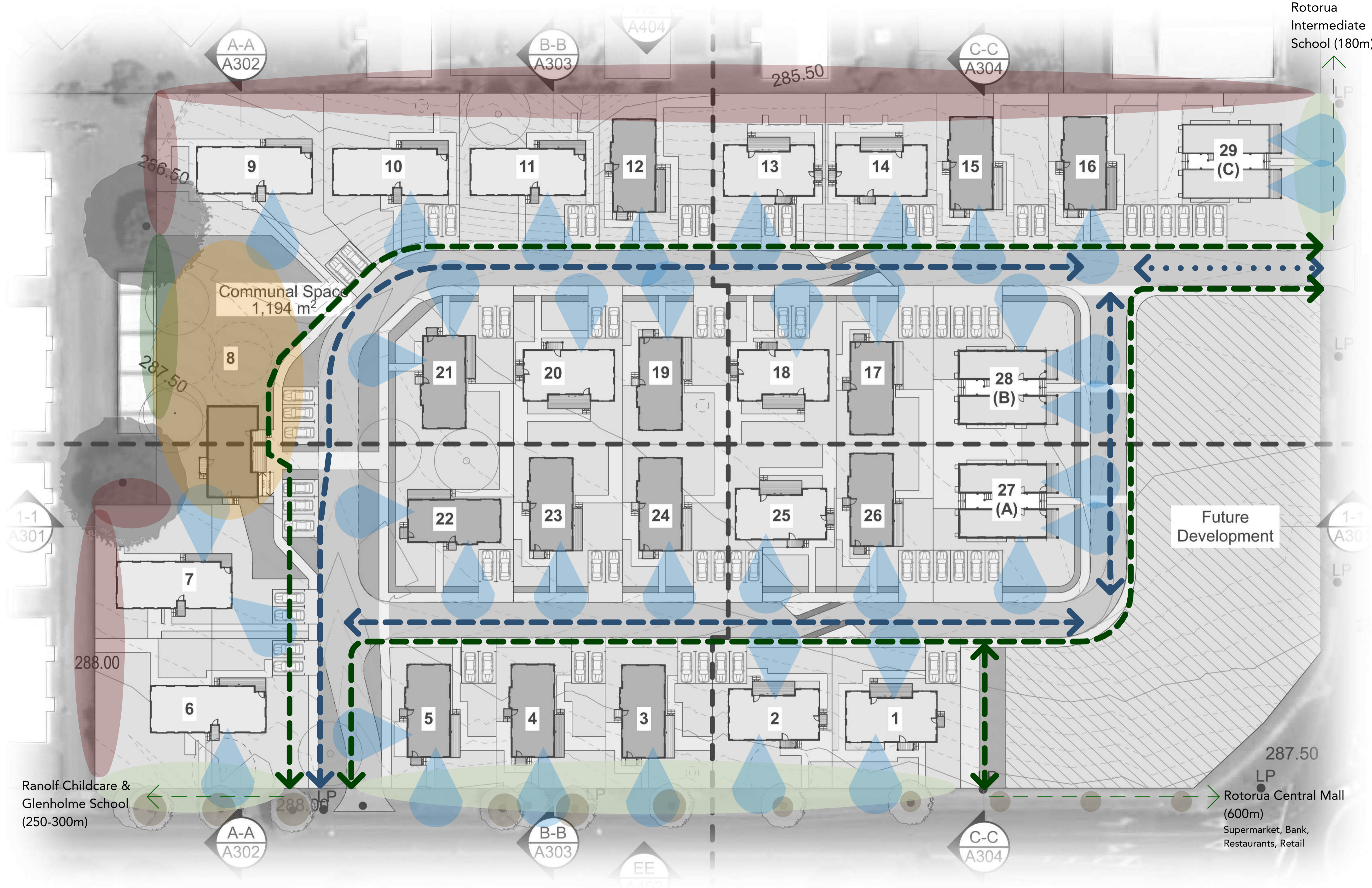


93 Ranolf Street
Glenholme, Rotorua



Drawing Number:	Drawing Description:	Drawing Issue Date:	S92 Rev A Issue Date:	S92 Rev B Issue Date:
210620/1	- Site Context & Opportunities	27/08/21	15/10/21	3/11/21
210620/2	- Concept Exploration (On Early B&L Option)	27/08/21	15/10/21	3/11/21
210620/3	- Landscape Masterplan	27/08/21	15/10/21	3/11/21
210620/4	- Planting Plan	27/08/21	15/10/21	3/11/21
210620/5	- Hardscape Plan	27/08/21	15/10/21	3/11/21
210620/6	- Fencing Plan	27/08/21	15/10/21	3/11/21
210620/7	- Lighting Plan	27/08/21	15/10/21	3/11/21
210620/8	- Planting Detail	27/08/21	15/10/21	3/11/21
210620/9	- Fencing Detail 1	27/08/21	15/10/21	3/11/21
210620/10	- Fencing Detail 2	27/08/21	15/10/21	3/11/21

<https://greenwoodassociates.co.nz>



RESOURCE CONSENT
Approved: 13 January 2022
Appn No: RC 17675
Plan No: RC 17675 / 27
Date: 13 January 2022



The site has been cleared and is largely devoid of meaningful vegetation

Excellent opportunity to inject local landscape character into the site



Plenty of amenity in the area including Kuirau Park and Ranolf Skate Park



Rotorua Central provides everyday services within easy walking distance

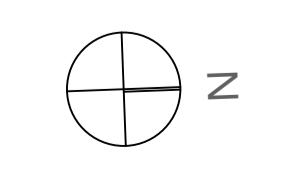


Existing deciduous street trees on Ranolf St are unaffected by the proposal



There are no existing street trees on Malfroy Rd, the majority of this frontage is subject to a Stage 2 proposal

- Community heart accessible and open
- Unit frontages activate/address the street
- Private interface to neighbouring residential properties
- Visual connection to neighbouring green space
- Existing street trees
- Passive surveillance from living spaces
- Pedestrian routes/axis
- Vehicle circulation to access homes





Large grade specimen trees located on site to provide flexibility for future development



Paving variation in accessways provides traffic calming and way finding



Low shrub planting allows for passive surveillance from kitchens and living areas and screening house foundations



Potential opportunity for communal amenity in community space. Will depend on tenancy make up and geothermal bore limitations

RESOURCE CONSENT
Approved: 13 January 2022
Appn No: RC 17675
Plan No: RC 17675 / 28
Date: 13 January 2022

-  Large grade native specimen trees
- Puriri / Taraire
-  Raised crown native trees
- Titoki / Kowhai
-  Low screening shrubs
- Houpara / Tororaro
-  Privacy hedging
- Taupata / Tanguru
-  Fruit trees
- Orange / Mandarin / Lime / Feijoa
-  Feature native planting
- Mixed eco-sourced natives
-  Contained, frost/shade tolerant planting
- Mix of controlled creepers and/or grasses
-  1.0m high timber batten frontage fencing
-  1.8m high paling privacy fencing
- Stained where visible to public realm
-  1.8m high timber/aluminium slatted privacy screens
- Face fixed to deck edge



Pūiri, Taraire and other fruiting natives will attract Kererū to the site



Wharariki, Ti kōuka and other flowering native species will attract Tui to the site

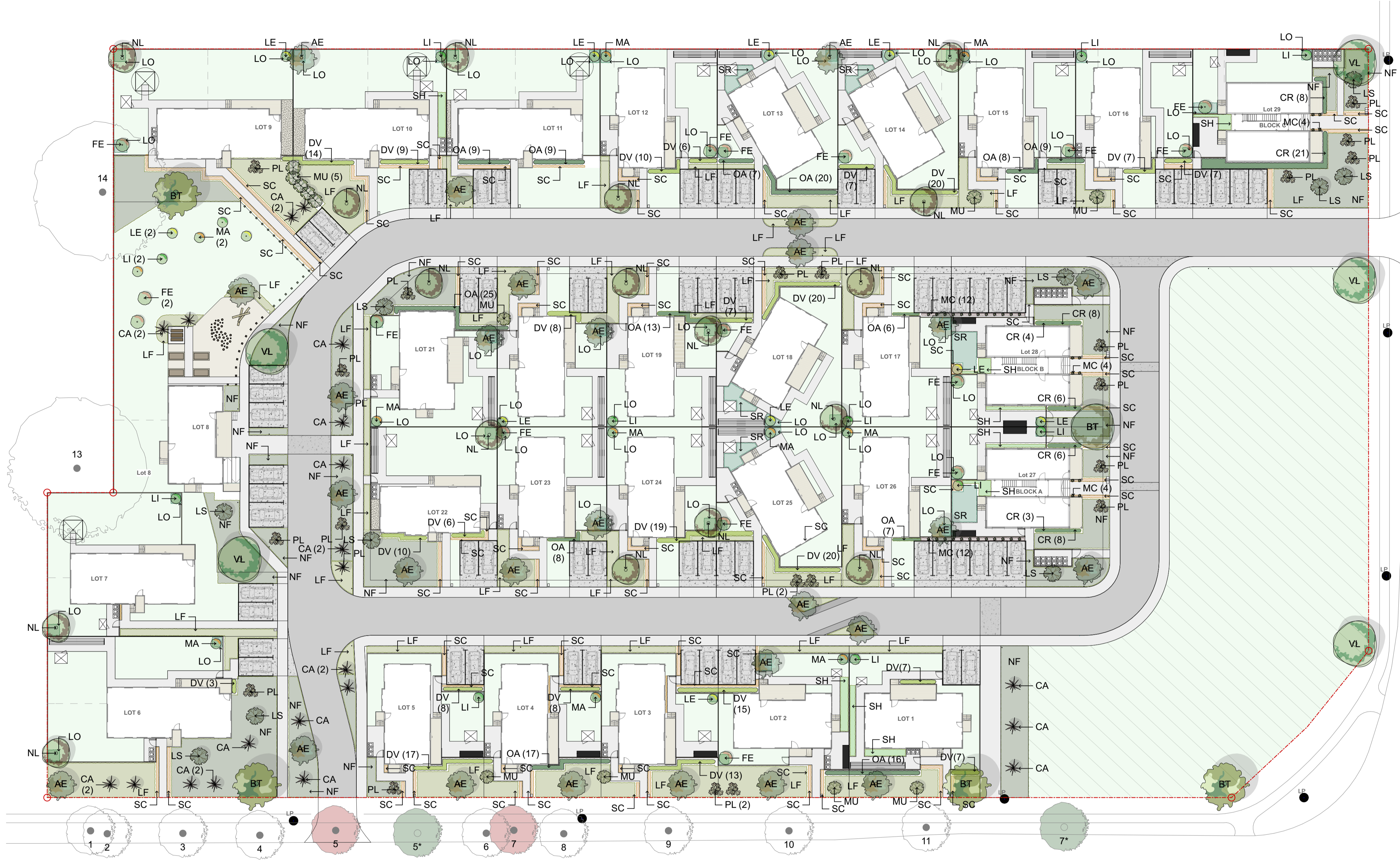


Ecosourced and cold climate conditioned plant stock supplied by local nursery



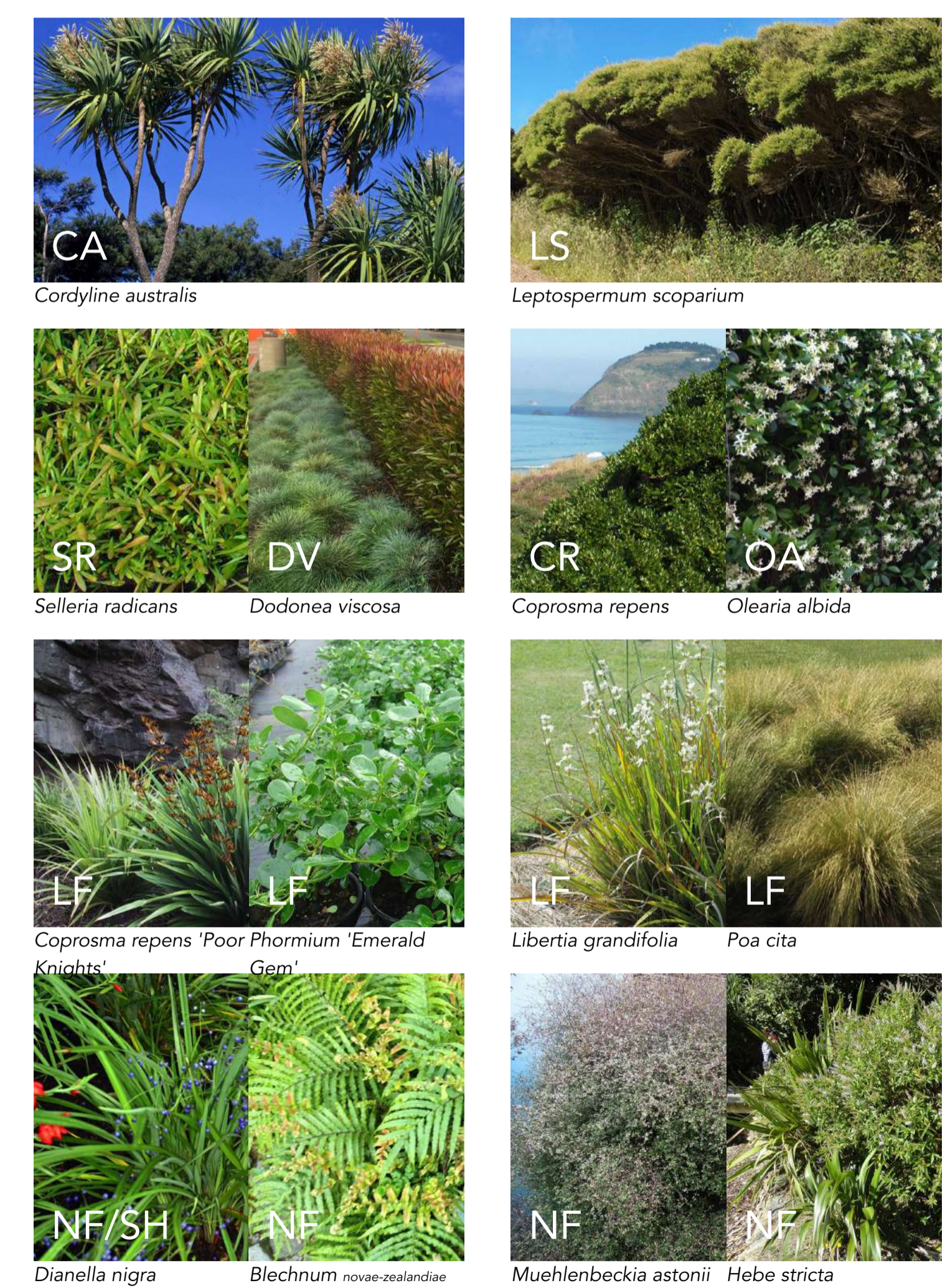
-  Puriri trees
-  Taraire trees
-  Titoki trees
-  White Maire trees
-  Fruiting trees
-  Native shrubs
-  Lancewood trees
-  Retained existing trees
-  Existing trees to be relocated
-  Tree relocation positions
-  Native hedging
-  Small contained planting
-  Large fill planting
-  Native feature planting
-  Shaded planting
-  Lawn
-  Wood chip
-  Standard concrete
-  Exposed aggregate concrete
-  Asphalt
-  Decking
-  Bin store areas
-  Clotheslines
-  Fencing < 1.2m
-  Fencing > 1.2m
-  Gates
-  Storage sheds

RESOURCE CONSENT
 Approved: 13 January 2022
 Appn No: RC 17675
 Plan No: RC 17675 / 29
 Date: 13 January 2022



Code	Name	Common Name	PB	Spacing	Quantity
VL	<i>Vitex lucens</i>	puriri	160L	As Marked	5
BT	<i>Beilschmiedia tarairi</i>	taraira	160L	As Marked	5
AE	<i>Alectryon excelsus</i>	titoki	95	As Marked	28
NL	<i>Nestigis lanceolata</i> *	white maire	95	As Marked	17
CA	<i>Cordyline australis</i>	ti kouka	95	As Marked	11
FE	<i>Acca sellowiana</i>	fejjoa	18	As Marked	16
LE	<i>Citrus x limon</i>	lemon	18	As Marked	11
LI	<i>Citrus x aurantifolia</i>	lime	18	As Marked	11
MA	<i>Citrus reticulata</i>	mandarin	18	As Marked	11
CW	<i>Pseudopanax lessonii 'Cyril Watson'</i>	houpara	8	As Marked	21
LS	<i>Leptospermum scoparium</i>	manuka	5	As Marked	10
MU	<i>Muehlenbeckia astonii</i>	torararo	5	As Marked	11
MC	<i>Muehlenbeckia complexa</i>	pohuehue	5	As Marked	36
CR	<i>Coprosma repens</i>	taupata	18	1200mm	62
DV	<i>Dodonea viscosa</i>	ake ake	18	800mm	236
OA	<i>Olearia albida</i>	tanguru	18	800mm	157
SR	<i>Selliera radicans</i>	remuremu	3	500mm	260
LO	<i>Lobelia angulata</i>	panakenake	3	500mm	464
SC	Small contained planting mix**				
	40% <i>Libertia peregrinans</i>	tukauki	3	400mm	338
	40% <i>Carex comans 'Frosted Curls'</i>	carex frosted curls	3	400mm	338
	20% <i>Phormium 'Sweet Mist'</i>	dwarf red flax	3	400mm	169
LF	Large fill planting mix**				
	25% <i>Coprosma repens 'Poor Knights'</i>	coprosma poor knights	3	800mm	398
	25% <i>Poa cita</i>	silver tussock	3	800mm	398
	25% <i>Libertia grandiflora</i>	mikoiko	3	600mm	708
	25% <i>Phormium cookianum 'Emerald Gem'</i>	dwarf mountain flax	3	800mm	398
NF	Native feature planting mix**				
	20% <i>Hebe stricta</i>	koromiko	5	800mm	368
	20% <i>Muehlenbeckia astonii</i>	torararo	5	800mm	368
	20% <i>Blechnum novae-zealandiae</i>	kiokio	5	800mm	368
	20% <i>Dianella nigra</i>	turutu	5	600mm	654
	20% <i>Phormium cookianum</i>	mountain flax	3	800mm	368
SH	Shade mix**				
	20% <i>Lobelia angulata</i>	panakenake	3	500mm	45
	40% <i>Dianella nigra</i>	turutu	5	500mm	90
	40% <i>Asplenium bulbiferum</i>	pikopiko	5	800mm	35
EX	Existing trees				
5, 7	Existing trees to be relocated. 5* & 7* indicate proposed locations				
1, 9	Existing small trees in road reserve to be retained				
10, 11	Can be transplanted to accommodate additional access points				
2, 3, 4	Established council trees in road reserve				
6, 8	To be retained and avoided during works				
13, 14	Trees in neighboring property, allow for a 10m protection buffer				

* Trees to be crown lifted to 1.2m minimum ** Plant mixes to be planted in species groups of 5 min



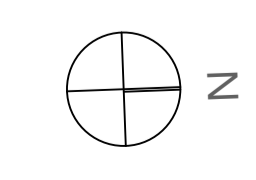
RESOURCE CONSENT
 Approved: 13 January 2022
 Appn No: RC 17675
 Plan No: RC 17675 / 30
 Date: 13 January 2022



Client
 Project
 93 Ranolf Street, Glenholme, Rotorua

Drawing
 210620/4 Planting Plan

Scale
 1:350@A1
 1:700@A3



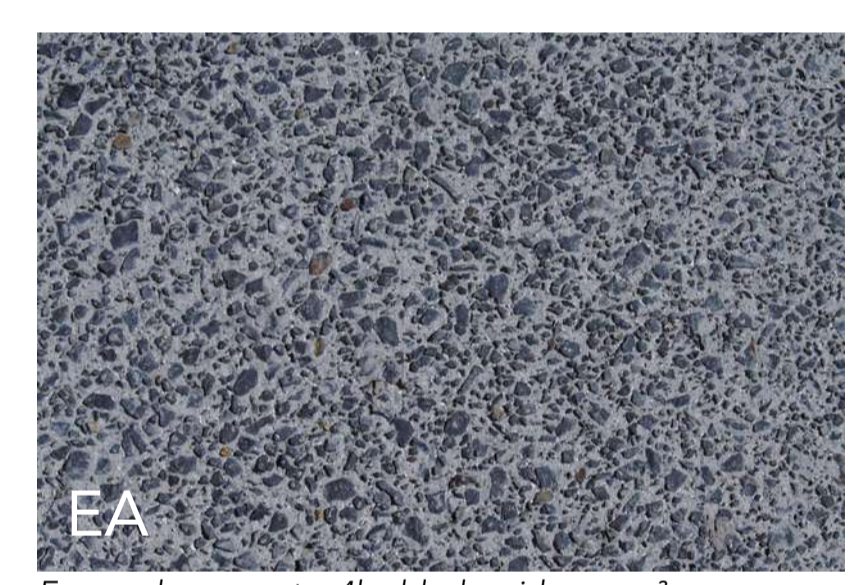
S92 Rev B Date
 3/11/21
 Telephone
 09 309 3600

Drawn
 JG
 Website
 greenwoodassociates.co.nz

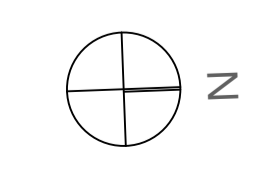
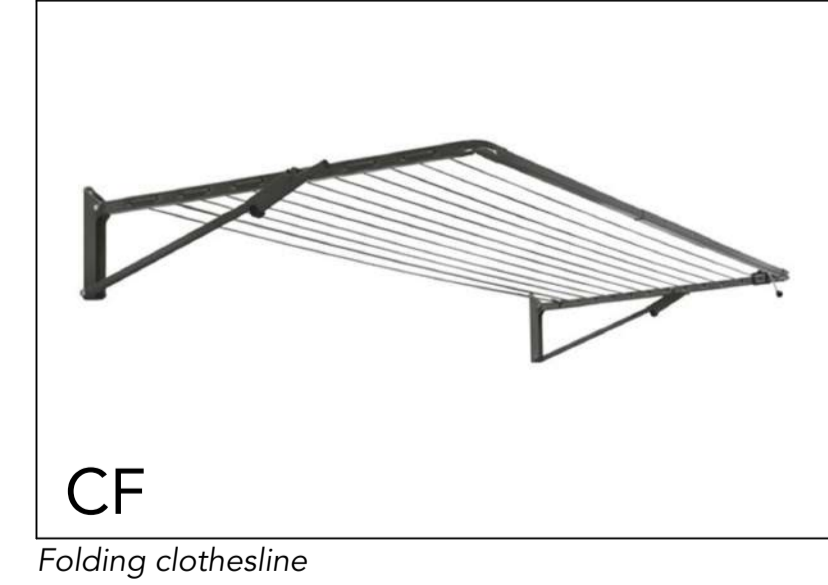
Checked
 MB



Code	Name	Specification
SC	Standard concrete	Standard aggregate, 100mm Thick, broom finish
CS	Standard concrete steps	Standard aggregate, broom finish
EA	Exposed aggregate concrete	Standard aggregate, 150mm Thick, 4kg black oxide per m ³
DE	Timber decking	H3.2 pine, 90x21mm watershed profile, SS screw fixed
DS	Pine decking steps	90x21mm watershed profile, SS screw fixed
LA	Lawn	PGG Wrightson Duraturf Kerbside, sow 40g/m ² (3.5kg/100m ²)
BC	Bark chip	High grade bark chip, 20-40mm, 100mm thick
CF	Compact folding clothes line	Austral Compact 39 Fold Down (3.4mX0.9m) (39m line) grey
TB	T-Bar clothesline	Tasman T-bar TCL350 (1.0mX8.0m) (42m line)
RO	Rotary clothes line	Tasman Rotary TCL250 (4.0m diameter) (42m line)
BS	Bin storage	Bin storage area
LB	Post mounted letterbox	Mail Boss Colville letterbox (H170mmXD400mmXW250mm), concrete encased Mail Boss post mount bracket, black powdercoat finish, lockable, adhesive street numbers
SS	Storage Shed	Garden Master sheds GM1815 (1.83mX1.53m) with Timber Floor Kitset, Slate grey colour finish
ST	Storage Shed	Garden Master GM1511 storage shed (1.53m x 1.08m) with Timber Floor Kitset, Slate grey colour finish
FS	Wall mounted foliage system	Anzor SS foliage system
BO	Bollards	H3.2 timber bollards (200X200mm)
CM	Communal space	Communal space to be developed with community consultation



RESOURCE CONSENT
Approved: 13 January 2022
Appn No: RC 17675
Plan No: RC 17675 / 31
Date: 13 January 2022

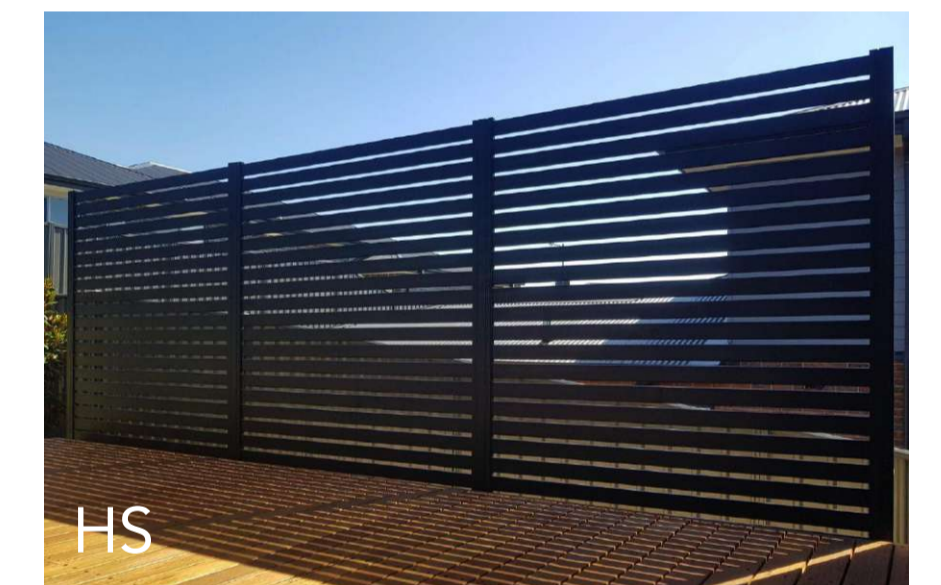




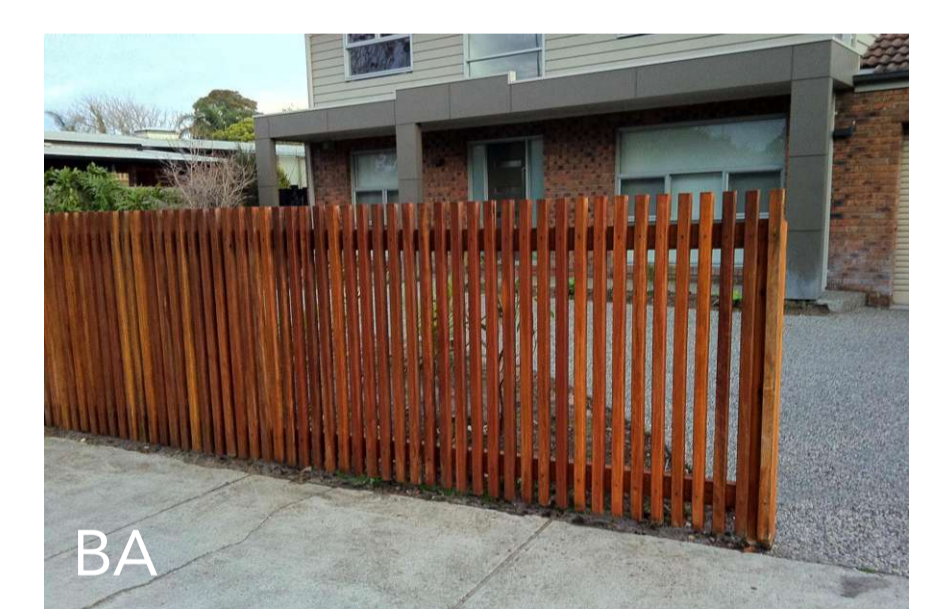
Code	Name	Specification
TF	1.8m Timber paling fence	1.8m high, 150mm H3.2 vertical palings, no spacing
TS	1.8m Timber paling fence	1.8m high, 150mm H3.2 vertical palings, no spacing 180x50mm H3.2 capping, stained with Resene Woodsman 'Tiri'
HS	1.8m Horizontal slatted timber fence	1.8m high, 100mm wide H3.2 horizontal slats, 25mm spacing, face fixed to deck edge, stained with Resene Woodsman 'Tiri'
BA	1.0m Timber batten fence	1.0m high, 50 x 50mm H3.2 RS Vertical battens. 25mm spacing, stained with Resene Woodsman 'Tiri'
BF	1.4m Timber batten fence	1.4m high, 50 x 50mm H3.2 RS Vertical battens. 25mm spacing, stained with Resene Woodsman 'Tiri'
TB	1.2m Timber deck balustrade	42x42mm, dressed H3.2 vertical balusters, 35mm spacing. handrails to be included on steps, face fixed, Natural stain.
HR	1.2m Aluminium hand rail	Spectrum Clearspan Settler open aluminium balustrade face fixed, with elliptical handrail, dark grey powdercoat finish
GA	Gate to match fence intersecting	Self-closing hinges, child proof latch, discourages climbing To match fence types shown to be intersecting



TF
1.8m Timber paling fence



HS
1.8m Horizontal timber slatted fence



BA
1.0m Timber batten fence



HR
Open aluminium hand rail

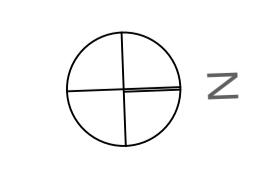


TB
Timber deck balustrade



BF
1.4m Timber batten fence

RESOURCE CONSENT
Approved: 13 January 2022
Appn No: RC 17675
Plan No: RC 17675 / 32
Date: 13 January 2022



Code	Name	Specification
SL	Building mounted sensor flood lights	To be selected at detail design stage
BL	Bollard solar light	To be selected at detail design stage



RESOURCE CONSENT
Approved: 13 January 2022
Appn No: RC 17675
Plan No: RC 17675 / 33
Date: 13 January 2022

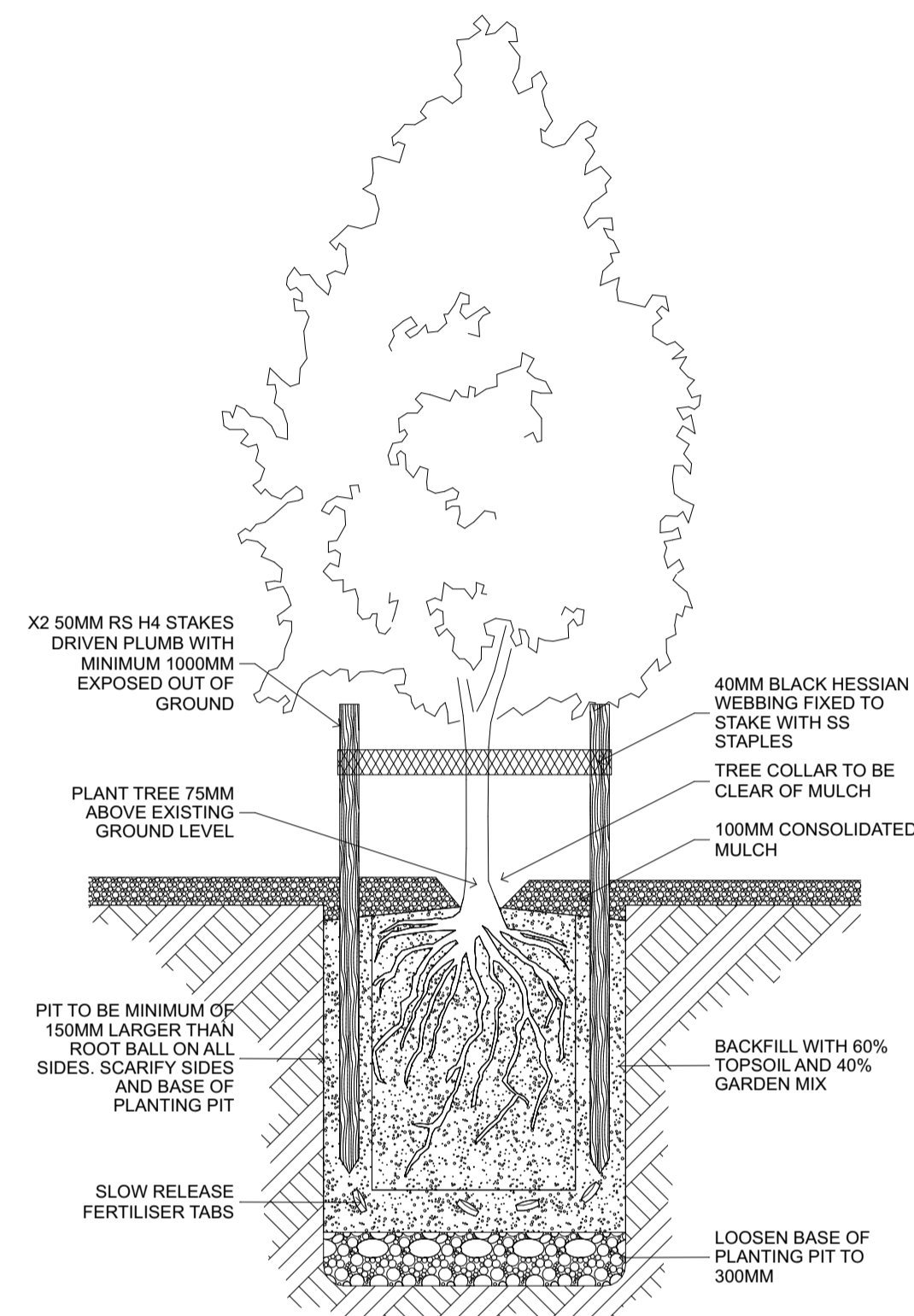


BL
Bollard light

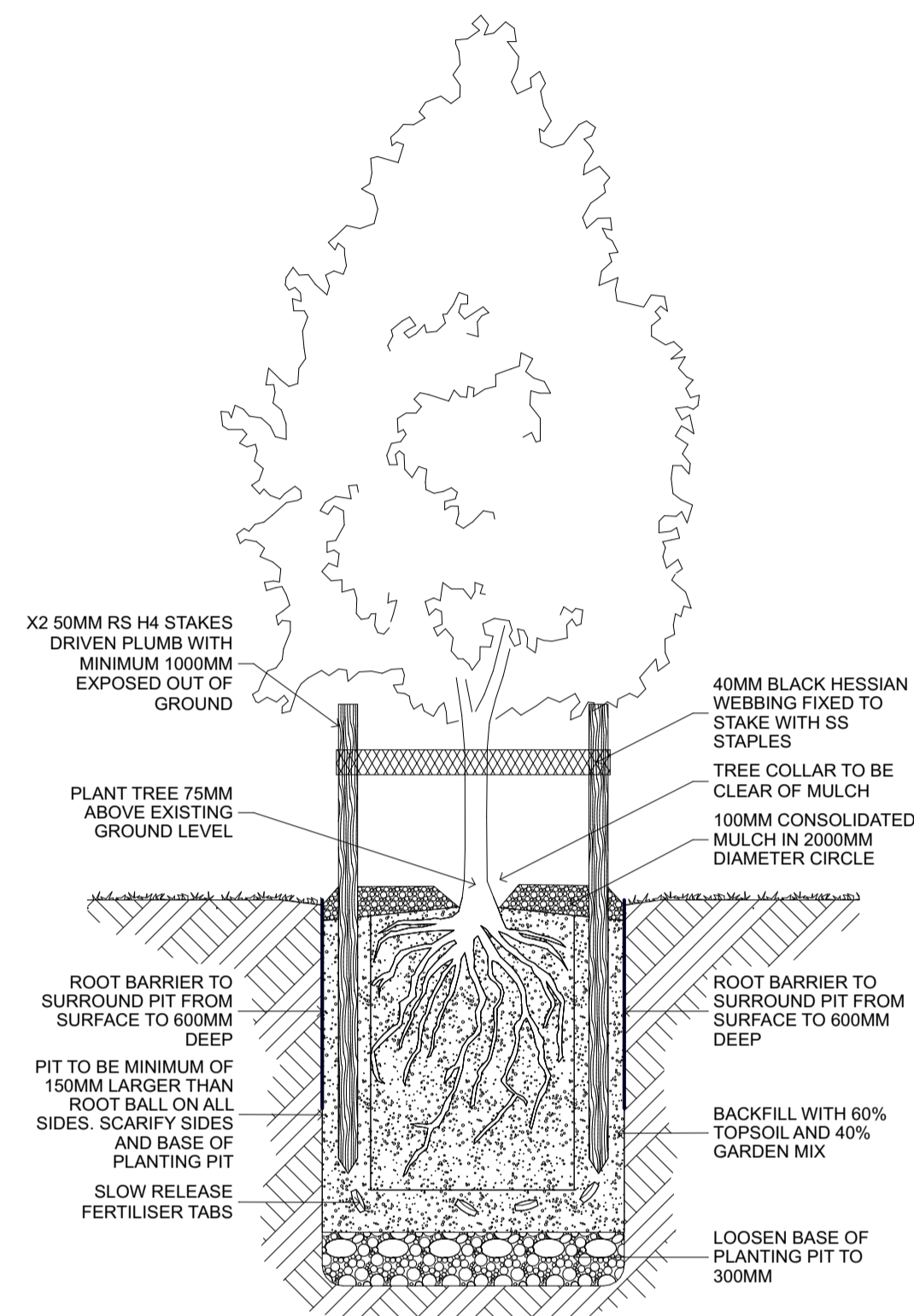


SL
Spike spot light

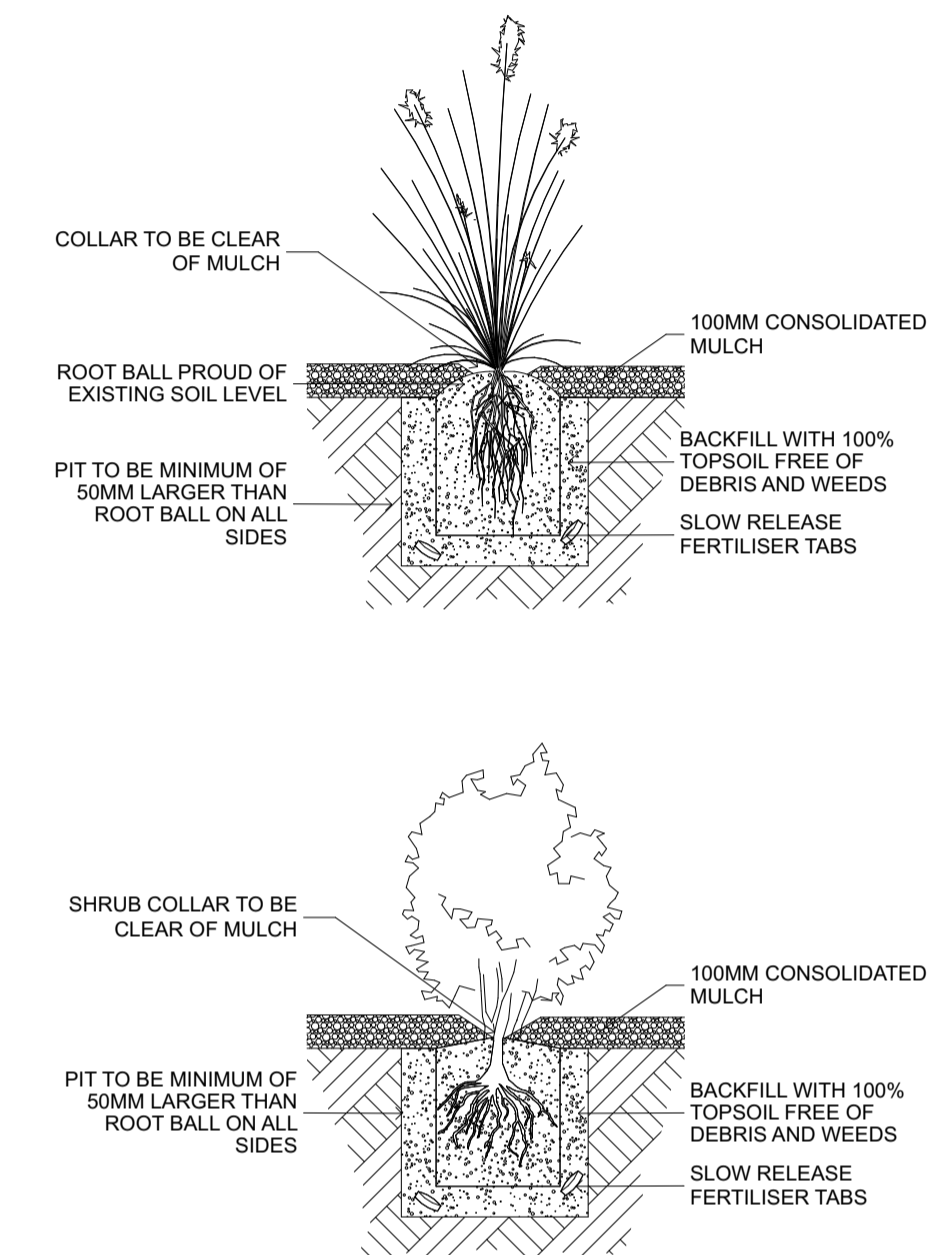
NOTE: THIS PLAN IS SHOWING INDICATIVE LIGHTING LOCATIONS ONLY. AN APPROPRIATE LIGHTING DESIGN WITH PRODUCT SPECIFICATIONS AND LUX LEVELS WILL BE PROVIDED BY A LIGHTING DESIGNER AT DETAILED DESIGN STAGE.



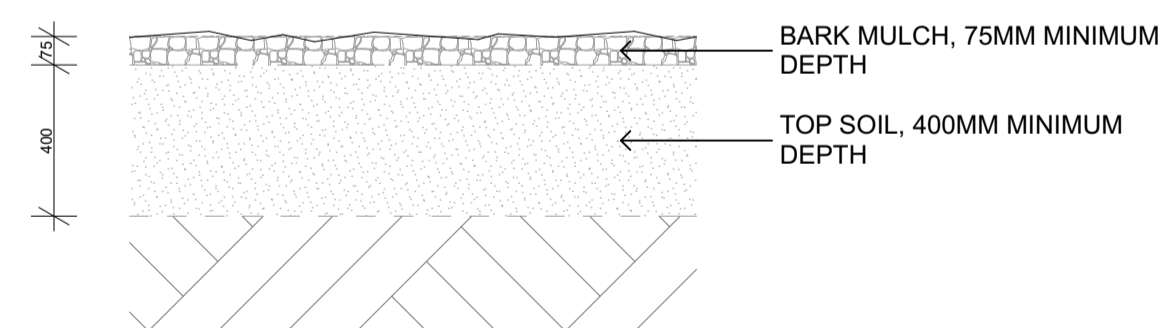
PD-01: TREE IN GARDEN NTS



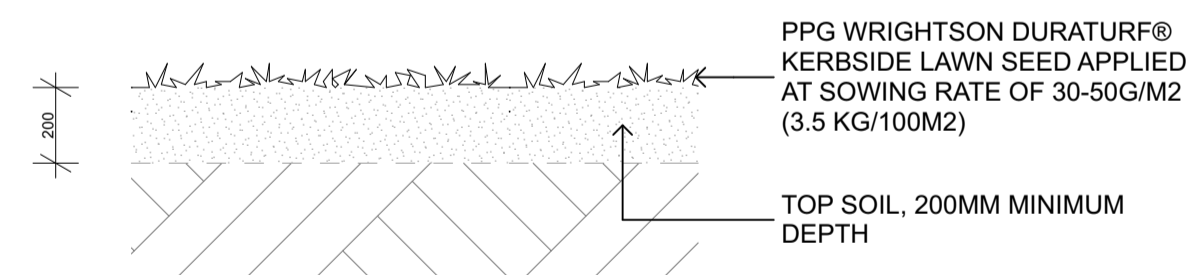
PD-02: STREET TREE IN LAWN/GARDEN NTS



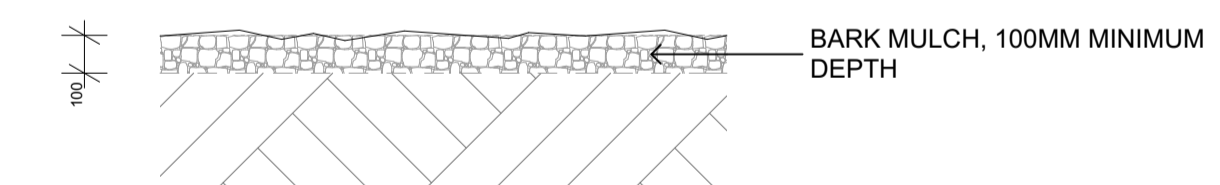
PD-03: SHRUB PLANTING NTS



PD-04: GARDEN BEDS 1:20@A1 / 1:40@A3

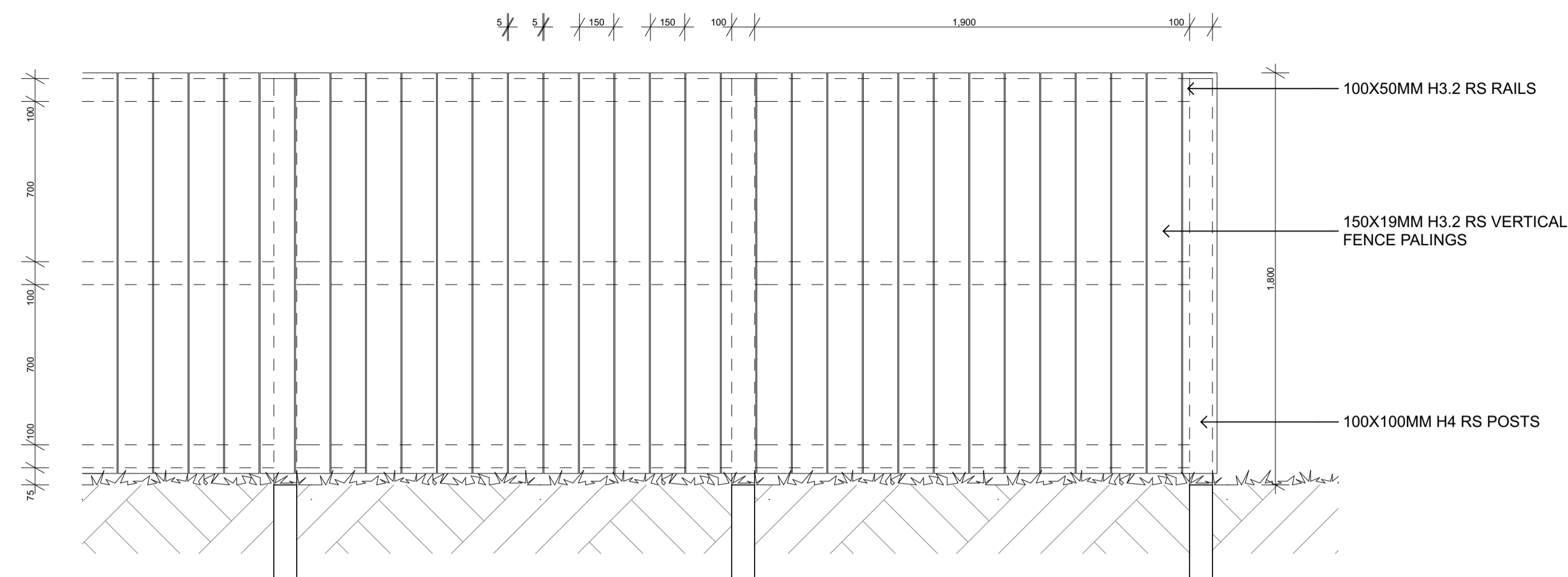


PD-05: LAWN 1:20@A1 / 1:40@A3



PD-06: BARK 1:20@A1 / 1:40@A3

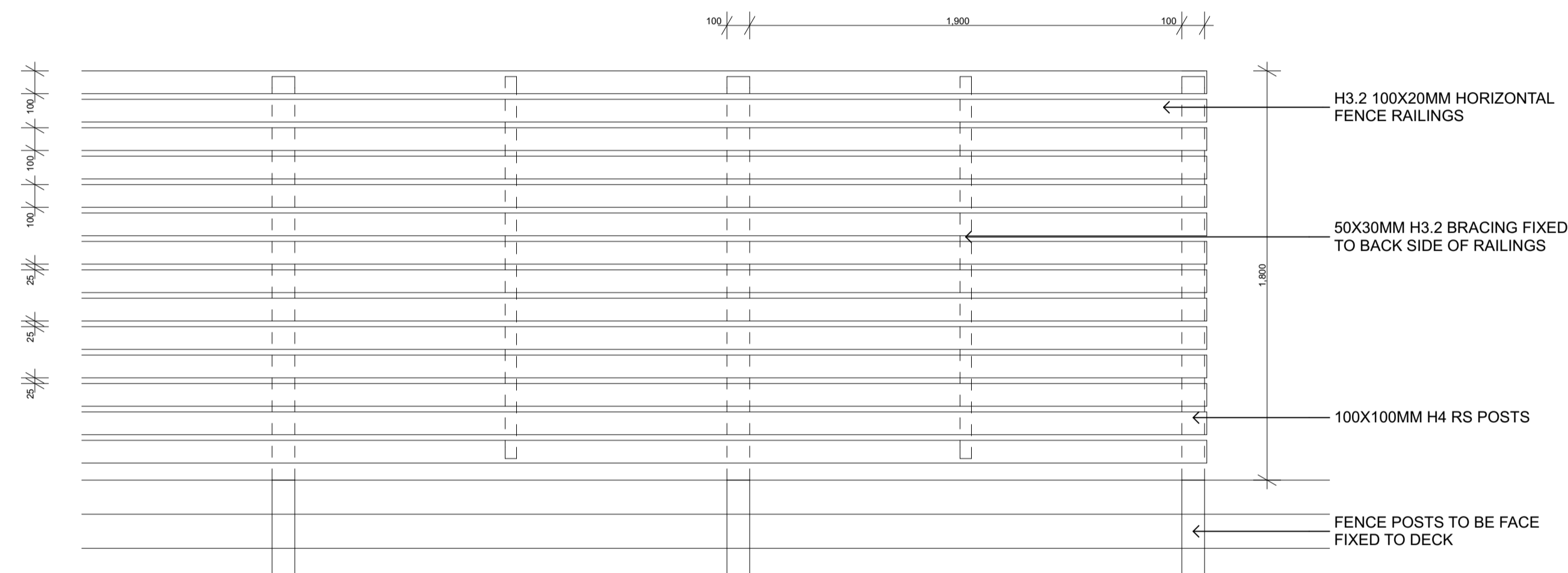
RESOURCE CONSENT
Approved: 13 January 2022
Appn No: RC 17675
Plan No: RC 17675 / 34
Date: 13 January 2022



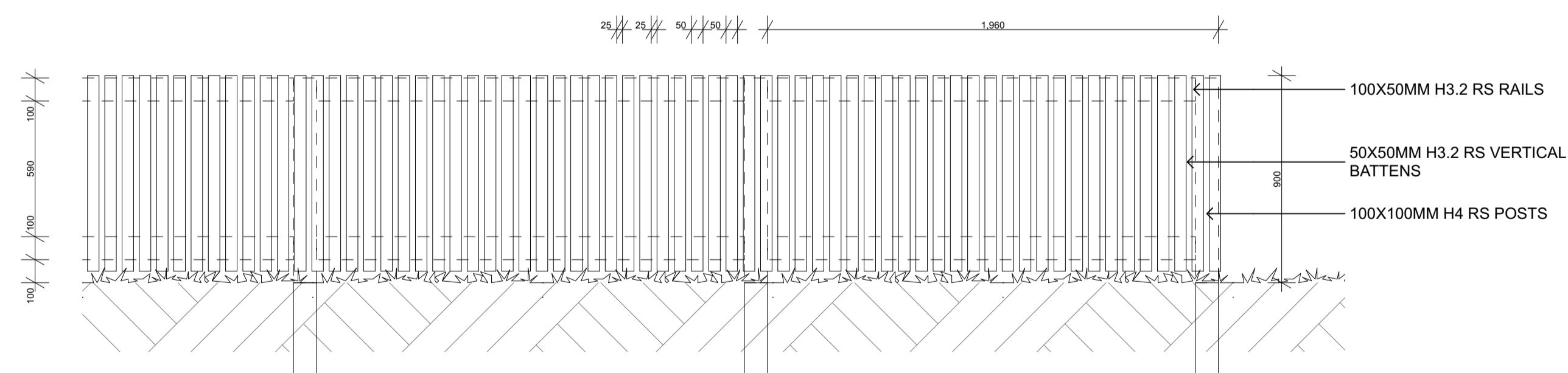
FD-TF: 1.8M TIMBER PALING FENCE 1:20@A1 / 1:40@A3



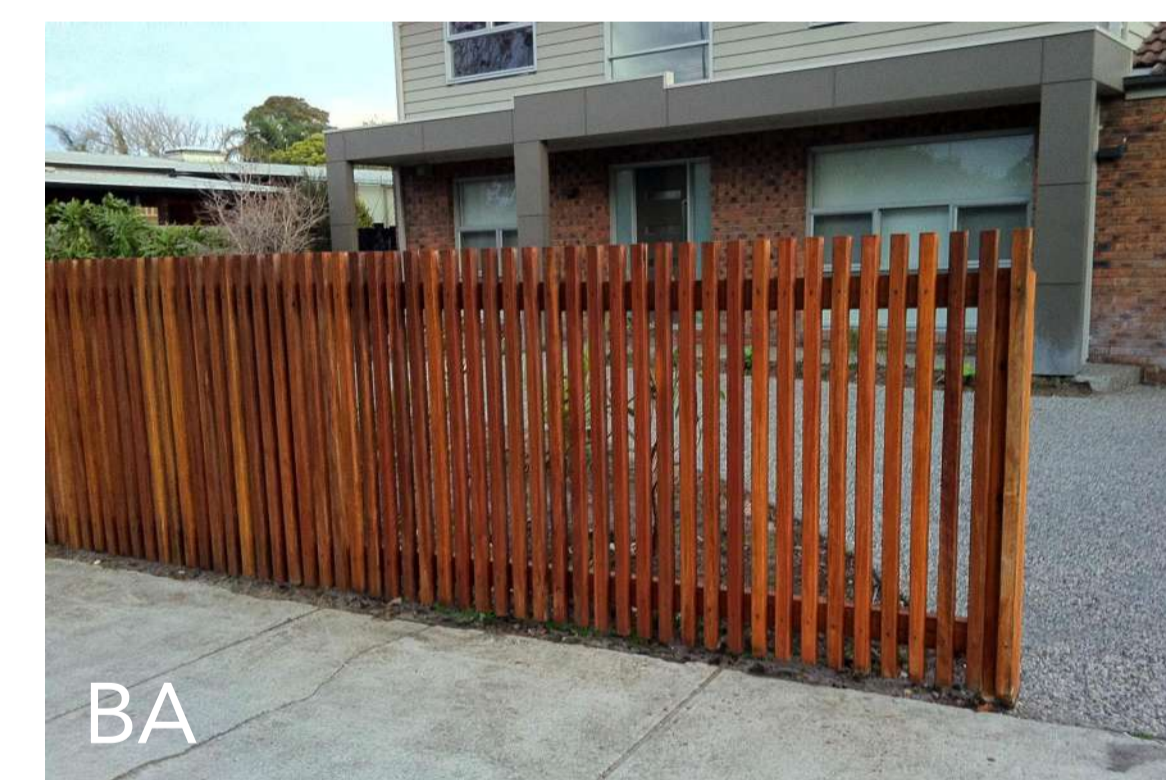
RESOURCE CONSENT
 Approved: 13 January 2022
 Appn No: RC 17675
 Plan No: RC 17675 / 35
 Date: 13 January 2022



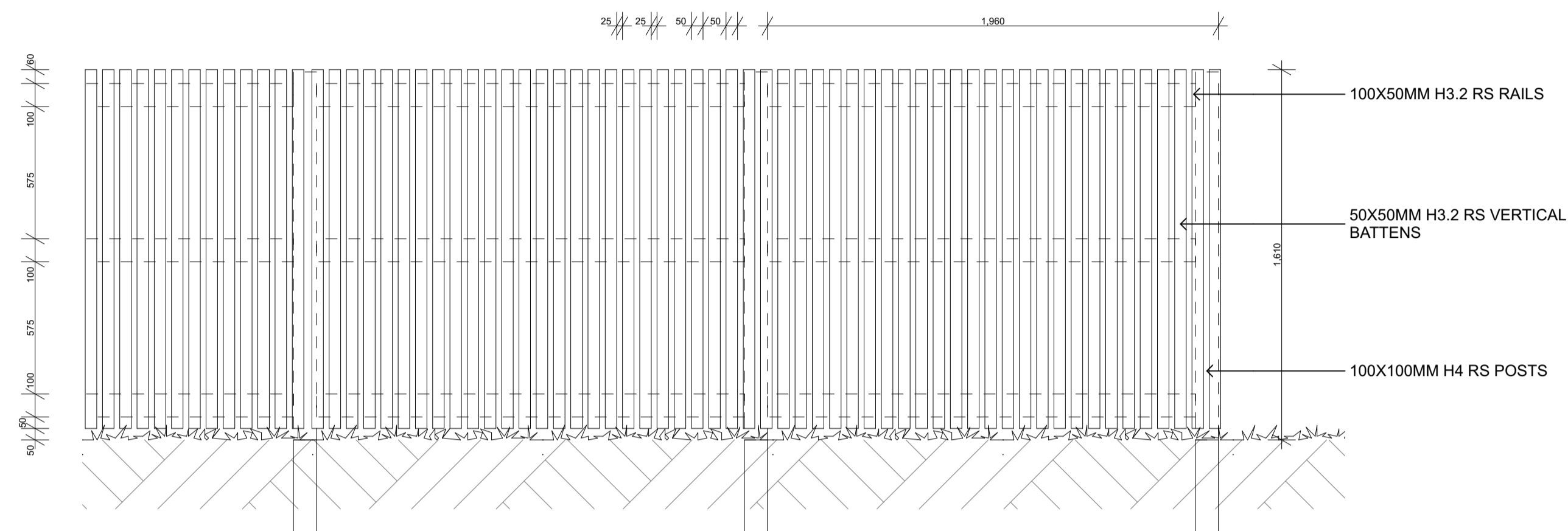
FD-HS: 1.8M HORIZONTAL SLATTED TIMBER FENCE 1:20@A1 / 1:40@A3



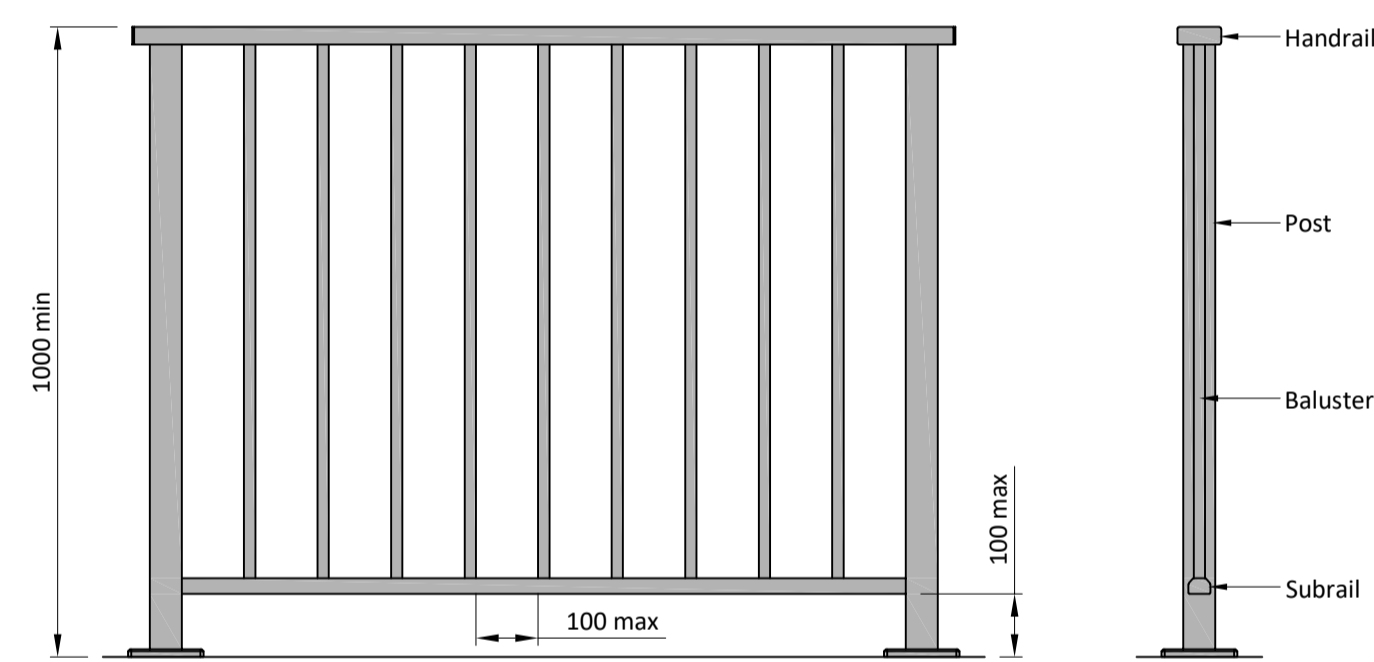
FD-BA: 1.0M TIMBER BATTEN FENCE 1:20@A1 / 1:40@A3



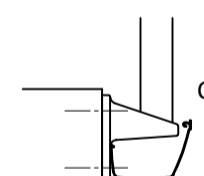
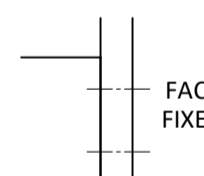
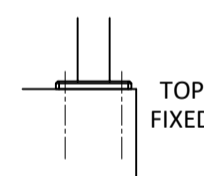
NOTE: ALL FENCE POSTS TO BE IN 300MM DIAMETER CONCRETE ENCASEMENT TO A MINIMUM DEPTH THAT IS 1/3 OF THE TOTAL FENCE HEIGHT UNLESS OTHERWISE SPECIFIED



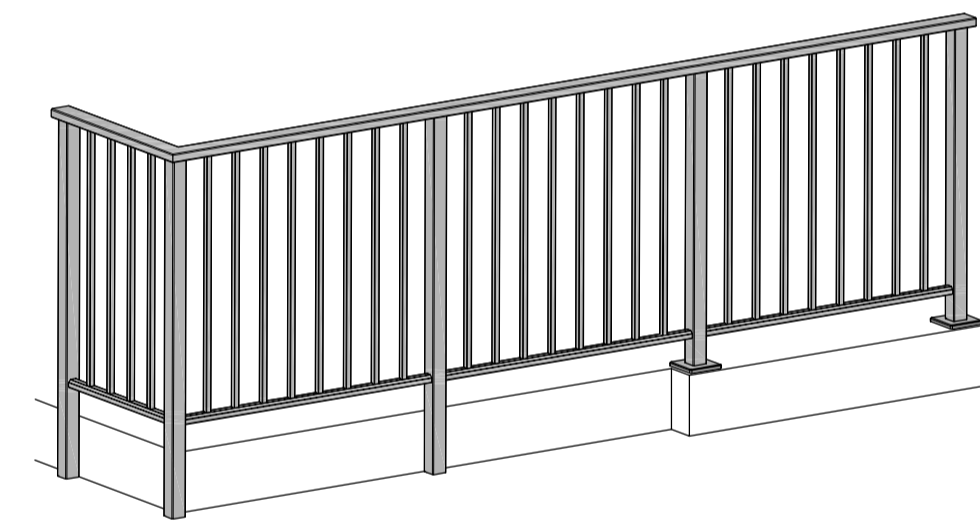
FD-BF: 1.4M TIMBER BATTEN FENCE 1:20@A1 / 1:40@A3



FIXING OPTIONS - Available in a range of fixing options/substrates. For a specific fixing detail and post spans to suit your requirements please visit spectrum.co.nz



- SURFACE FINISH - Powdercoated (Dulux Duralloy or Duratec range) or Anodised
- MATERIALS - 6060 T5/T6 aluminium - 316 Stainless steel
- NZBC COMPLIANCE - B1 (Structure), B2 (Durability), D1 (Access routes), F4 (Safety from falling), F9 (Pool fencing)
- OCCUPANCY TYPES - A, B, E & C3
- INSTALLATION - Spectrum Balustrade Systems to be fully installed by accredited installers



FD-HR: 1.2M SPECTRUM CLEARSPAN SETTLER ALUMINIUM HAND RAIL

NOTE: ALL FENCE POSTS TO BE IN 300MM DIAMETER CONCRETE ENCASEMENT TO A MINIMUM DEPTH THAT IS 1/3 OF THE TOTAL FENCE HEIGHT UNLESS OTHERWISE SPECIFIED

RESOURCE CONSENT
Approved: 13 January 2022
Appn No: RC 17675
Plan No: RC 17675 / 36
Date: 13 January 2022